



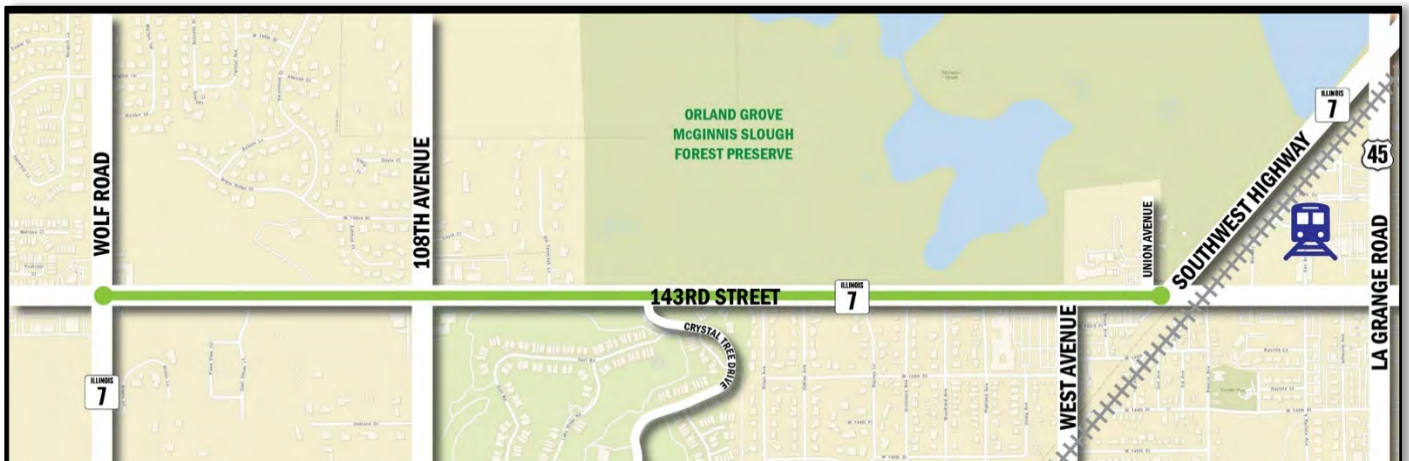
December 10, 2020 to January 11, 2021

# 143<sup>rd</sup> Street

Wolf Road to Southwest Highway

*Phase I Engineering Study*

Public Information Meeting Summary



# Table of Contents

<b>ATTACHMENTS</b> .....	<b>1</b>
<i>Attachment A – Elected Officials and Agency Letters</i> .....	<b>1</b>
<i>Attachment B – Land Acquisition Letters and Exhibits</i> .....	<b>1</b>
<i>Attachment C – General Mailing</i> .....	<b>1</b>
<i>Attachment D – Brochure and Comment Form</i> .....	<b>1</b>
<i>Attachment E – Public Information Meeting Website Exhibits</i> .....	<b>1</b>
<i>Attachment F – Public Information Meeting PowerPoint Presentation</i> .....	<b>1</b>
<i>Attachment G – Public Information Meeting Chat Box Questions and Comments</i> .....	<b>1</b>
<i>Attachment H – Written Comments</i> .....	<b>1</b>
<b>1</b> <i>Executive Summary</i> .....	<b>2</b>
<b>2</b> <i>Meeting Notifications</i> .....	<b>3</b>
2.1      Display Ads .....	<b>3</b>
2.2      Village Website .....	<b>6</b>
2.3      Elected Officials And Agencies .....	<b>6</b>
2.4      Land Acquisition Letters.....	<b>6</b>
2.5      General Mailing.....	<b>7</b>
<b>3</b> <i>Detailed Summary</i> .....	<b>7</b>
3.1      Public Information Meeting Website.....	<b>7</b>
3.2      Public Information Meeting .....	<b>11</b>
<b>4</b> <i>Comments</i> .....	<b>14</b>

## ATTACHMENTS

Attachment A – Elected Officials and Agency Letters  
Attachment B – Land Acquisition Letters and Exhibits  
Attachment C – General Mailing  
Attachment D – Brochure and Comment Form  
Attachment E – Public Information Meeting Website Exhibits  
Attachment F – Public Information Meeting PowerPoint Presentation  
Attachment G – Public Information Meeting Chat Box Questions and Comments  
Attachment H – Written Comments



# 1 EXECUTIVE SUMMARY

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The Public Information Meeting for the 143<sup>rd</sup> Street Phase I Study was held on December 17, 2020 conducted in an open house format (virtual via Zoom) with all materials posted on-line at [www.143rdStreetProject.com](http://www.143rdStreetProject.com) starting on December 11, 2020. The purpose of the meeting was to show the preferred alternative and to seek public input. Additionally, two Section 4(f) de minimis documents were also presented for public comment related to proposed impacts to McGinnis Slough (FPDCC holding) and historic properties. Interested persons were able to view the website at any time where attendees had the opportunity to review exhibits, provide input on the proposed improvement plan, and submit questions or comments.

A formal project presentation was made with public comment/Q&A period following the presentation, where the project team listened to comments and answered questions. The presentation consisted of the same materials posted on the public information meeting website. The virtual project presentation was posted to the public information meeting website on December 18, 2020. The Public Information Meeting was attended by 29 people.

The Public Information Meeting was advertised via the local paper, Village website, and individualized mailings.

The Village of Orland Park (Village) is the lead agency for the Engineering and Environmental Phase I Study to address the need for transportation related improvements to 143<sup>rd</sup> Street from Wolf Road on the west to Southwest Highway on the east, a distance of approximately 1.7 miles. Within the project limits, 143<sup>rd</sup> Street is designated Illinois Route 7 and is under the maintenance and jurisdiction of IDOT. Additional project reviews and approvals are required to assure compliance with IDOT design standards and policies.

A total of 68 comments and questions were received during the comment period from December 10, 2021, to January 11, 2021. Twenty-two (22) comments/questions were received during the virtual project presentation on December 17, 2022, and 46 written comments/questions were received.

## 2 MEETING NOTIFICATIONS

### 2.1 DISPLAY ADS

The following advertisement ran in the Daily Southtown (Chicago Tribune) on December 2, 2020, and December 14, 2020:

Village of Orland Park Transportation  
Public Meeting  
December 14, 2020 through January  
11, 2021

CLASSIFIED AD TO RUN December 2<sup>nd</sup> and December 14<sup>th</sup>, 2020 in the Daily  
Southtown (Chicago Tribune)

**143<sup>rd</sup> Street Improvement – Wolf Road to Southwest Highway**

The Village of Orland Park  
has scheduled a

**Public Meeting**  
for the

**143<sup>rd</sup> Street Improvement from Wolf Road to Southwest Highway**

The Village of Orland Park cordially invites you to participate in the Public Meeting concerning improvements to 143<sup>rd</sup> Street from Wolf Road to Southwest Highway. The purpose of the meeting is to seek public comment on the proposed improvements to 143<sup>rd</sup> Street as part of the Phase I Engineering and Environmental Study. Project information will be provided, including a project overview, details of the proposed improvements, and ways for stakeholders to provide comments.

Orland Park is also seeking public comment on the use of property from McGinnis Slough/Orland Grove Forest Preserve and seven historic sites associated with improvements to 143<sup>rd</sup> Street. The Forest Preserve is owned and operated by the Forest Preserve District of Cook County and the historic sites are privately owned, with exception of the local Old Orland Historic District. Both the Forest Preserve and historic sites are protected by Section 4(f) of the U.S. Department of Transportation Act of 1966. The Village of Orland Park intends to seek a de minimis impact finding from the Federal Highway Administration based on the project not adversely affecting the features, attributes, or activities qualifying the Forest Preserve and historic sites for protection under Section 4(f).

Due to COVID 19 restrictions, the 143<sup>rd</sup> Street Public Meeting will be held virtually in an open house format through a virtual Public Meeting web page, meaning interested persons can view the project information via the virtual Public Meeting web page at any time during the open comment period. The details of the virtual Public Meeting are as follows:

**Date: Monday, December 10, 2020 through January 11, 2021**  
**Meeting Web Page: [www.143rdStreetProject.com](http://www.143rdStreetProject.com)**

A virtual live project presentation will be made (via Zoom) on December 17, 2020 to present project information and provide attendees the opportunity to talk directly to the project team, ask questions or make public comments. The attendees will also have the option to call in if they do not have access to a computer or internet. The live virtual project presentation will be recorded and posted to the virtual Public Meeting web page for those that cannot attend. Hard copies of project information can be requested from the Village (contact information below).

**Date: Thursday, December 17, 2020**  
**Time: 6 p.m.**  
**Website: <https://zoom.us/join>**  
**Meeting ID: 984 8799 7149**  
**Passcode: 763106**  
**Phone: 312-626-6799; 98487997149#**

For additional project information, please visit the Village project webpage at, <https://orlandpark.org/services/engineering-programs-and-services/143rd-street-widening-project>, or contact the Village Department of Engineering Programs and Services, at [eps@orlandpark.org](mailto:eps@orlandpark.org) or (708) 403-6277.

This meeting will be accessible to handicapped individuals or individuals without internet access. Anyone needing specific assistance should contact Matt Huffman of Christopher B. Burke Engineering, Ltd. at [mhuffman@cbbel.com](mailto:mhuffman@cbbel.com) or (847) 823-0500.

The certificate of publication is included below:

<b>Chicago Tribune</b>		Printed: 12/1/2020 2:15:13 PM
Order ID: 6827855		Page 2 of 3
		* Agency Commission not included
<b>GROSS PRICE * : \$410.18</b>		
<b>PACKAGE NAME: IL Govt Legal Daily Southtown</b>		
<hr/>		
<b>Product(s):</b>	SubTrib_Daily Southtown, Publicnotices.com	
<b>AdSize(s):</b>	2 Column	
<b>Run Date(s):</b>	Wednesday, December 2, 2020, Monday, December 14, 2020	
<b>Color Spec.</b>	BW	
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<b>Preview</b>		
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<p style="text-align: center;"><b>The Village of Orland Park has scheduled a Public Meeting for the 143rd Street Improvement from Wolf Road to Southwest Highway</b></p> <p>The Village of Orland Park cordially invites you to participate in the Public Meeting concerning improvements to 143rd Street from Wolf Road to Southwest Highway. The purpose of the meeting is to seek public comment on the proposed improvements to 143rd Street as part of the Phase I Engineering and Environmental Study. Project information will be provided, including a project overview, details of the proposed improvements, and ways for stakeholders to provide comments.</p> <p>Orland Park is also seeking public comment on the use of property from McGinnis Slough/Orland Grove Forest Preserve and seven historic sites associated with improvements to 143rd Street. The Forest Preserve is owned and operated by the Forest Preserve District of Cook County and the historic sites are privately owned, with exception of the local Old Orland Historic District. Both the Forest Preserve and historic sites are protected by Section 4(i) of the U.S. Department of Transportation Act of 1966. The Village of Orland Park intends to seek a de minimis impact finding from the Federal Highway Administration based on the project not adversely affecting the features, attributes, or activities qualifying the Forest Preserve and historic sites for protection under Section 4(i).</p> <p>Due to COVID 19 restrictions, the 143rd Street Public Meeting will be held virtually in an open house format through a virtual Public Meeting web page, meaning interested persons can view the project information via the virtual Public Meeting web page at any time during the open comment period. The details of the virtual Public Meeting are as follows:</p> <p>Date: Monday, December 10, 2020 through January 11, 2021 Meeting Web Page: <a href="http://www.143rdStreetProject.com">www.143rdStreetProject.com</a></p> <p>A virtual live project presentation will be made (via Zoom) on Decem-</p>		

# Chicago Tribune

Order ID: 6827855

Printed: 12/1/2020 2:15:13 PM

Page 3 of 3

\* Agency Commission not included

**GROSS PRICE \* :** \$410.18

**PACKAGE NAME:** IL Govt Legal Daily Southtown

ber 17, 2020 to present project information and provide attendees the opportunity to talk directly to the project team, ask questions or make public comments. The attendees will also have the option to call in if they do not have access to a computer or internet. The live virtual project presentation will be recorded and posted to the virtual Public Meeting web page for those that cannot attend. Hard copies of project information can be requested from the Village (contact information below).

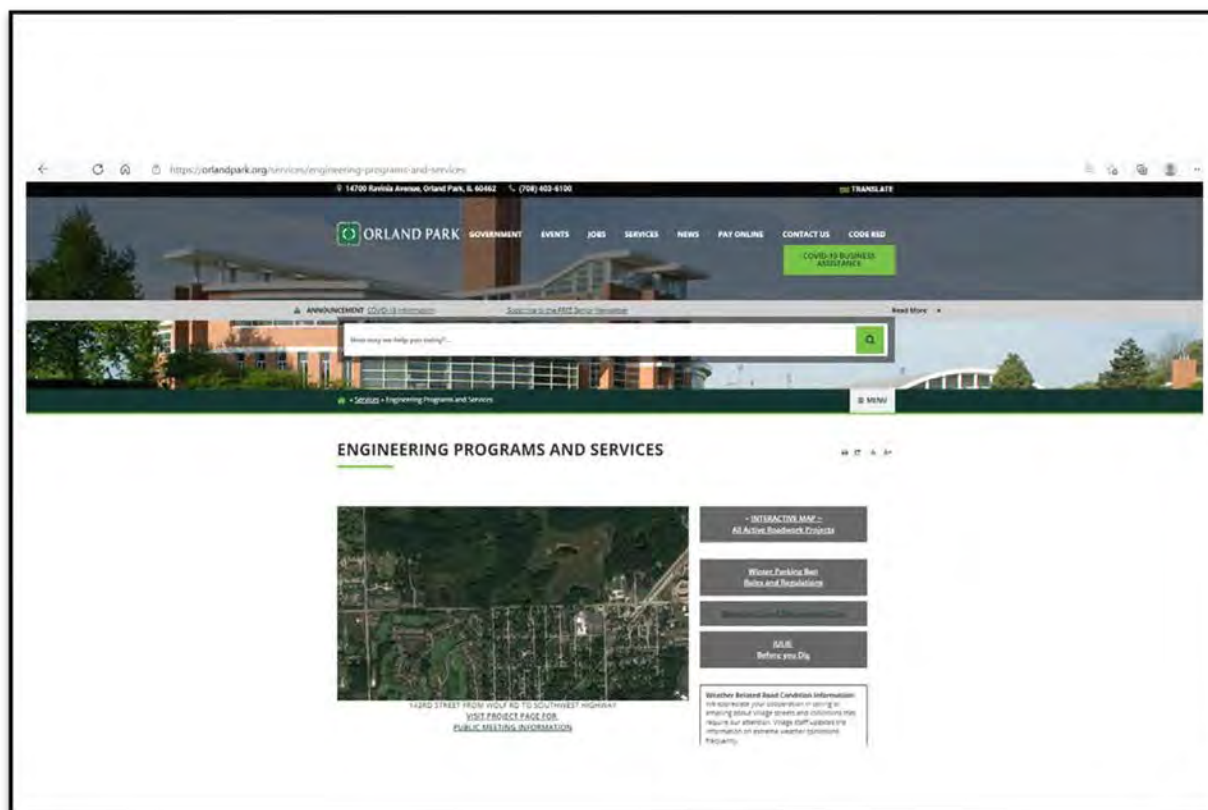
Date: Thursday, December 17, 2020  
Time: 6 p.m.  
Website: <https://zoom.us/join>  
Meeting ID: 984 8799 7149  
Passcode: 763106  
Phone: 312-626-6799; 98487997149#

For additional project information, please visit the Village project web page at: <https://orlandpark.org/Services/engineering-programs-and-services/143rd-street-widening-project>, or contact the Village Department of Engineering Programs and Services, at [eps@orlandpark.org](mailto:eps@orlandpark.org) or (708) 403-6277.

This meeting will be accessible to handicapped individuals or individuals without internet access. Anyone needing specific assistance should contact Matt Huffman of Christopher B. Burke Engineering, Ltd. at [mhuffman@cbbel.com](mailto:mhuffman@cbbel.com) or (847) 823-0500.  
12/2, 12/14/20 6827855

## 2.2 VILLAGE WEBSITE

The Village website included an announcement of the Public Information Meeting on Friday, December 11, 2020.



## 2.3 ELECTED OFFICIALS AND AGENCIES

Personalized letters with a copy of the brochure and comment form were sent to 26 elected and agency officials on December 4, 2020. The elected and agency officials letter and mailing list is included in Attachment A. Refer to Attachment D for Brochure and Comment Form that were included with the letter.

## 2.4 LAND ACQUISITION LETTERS

Personalized letters with a copy of the brochure, comment form, and land acquisition exhibit were sent to 75 property owners with proposed land acquisition (fee-simple acquisition, permanent easement, or land acquisition) on December 8, 2020, via certified mail. Some owners own more than one property. A total of 86 properties are affected with the project. An example letter, mailing list and exhibits are included as Attachment B. Refer to Attachment D for Brochure and Comment Form that were also included in the mailing.



## 2.5 GENERAL MAILING

A project brochure and comment form were mailed to property owners near the project corridor. A total of 395 mailings were sent out the week of December 9, 2020. An exhibit indicating which property owners received the general mailing along with a mailing list are included in Attachment C. Refer to Attachment D for Brochure and Comment Form that were also included in the mailing.

## 3 DETAILED SUMMARY

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The Public Information Meeting for the 143<sup>rd</sup> Street Phase I Study was held on December 17, 2020, in an open house format (virtual via Zoom) and all materials were posted online starting December 10, 2020, at [www.143rdStreetProject.com](http://www.143rdStreetProject.com). The purpose of the meeting was to show the preferred alternative and to seek public input on the transportation issues and needs within the 143<sup>rd</sup> Street study area, along with seeking input on two Section 4(f) de minimis for impacts to McGinnis Slough (FPDCC holding) and historic properties. Interested persons were able to view the website at any time where attendees had the opportunity to review exhibits, provide input on the proposed improvement plan, and submit questions or comments. The Public Information Meeting presentation reviewed the same materials posted on the posted on the Public Information Meeting website. Attendees of the Public Information Meeting were able to provide comments and ask questions to the project team. The Public Information Meeting was held virtually via Zoom due to the COVID 19 pandemic. A call in phone number was provided for those not having access to the internet.

Information was provided regarding the study schedule, project process, data collection, and the public involvement opportunities. Attendees had the opportunity to review exhibits, provide comments, and talk directly to project study team representatives. All material presented at the Virtual Project Presentation was also posted to the Virtual Public Information Meeting project website ([www.143rdStreetProject.com](http://www.143rdStreetProject.com)).

### 3.1 PUBLIC INFORMATION MEETING WEBSITE

The Public Information Meeting website included the project exhibits and facilitated comments and questions submissions. The display exhibits were posted on the Public Information Meeting website by stations to assist participants navigating through project information similar to an open house meeting. Exhibits included:

- Station 1 – Project Overview
  - Project Location and 143<sup>rd</sup> Street Corridor(I-355 to Cicero Ave) Exhibit
  - Overall Project Development Process
  - Phase I Study Process and Timeline
- Station 2 – Project Information
  - Traffic Information
  - Capacity
  - Crash Analysis
  - Existing Conditions
- Station 3 – Proposed Improvement

- Overall Proposed Improvement Summary Exhibit
- Existing/Proposed Typical Roadway Sections
- Proposed Improvement Exhibits
- Traffic Noise Analysis
- Station 4 – Land Acquisition
  - Property Acquisition
  - Section 4(f) *de minimis* Exhibit (Public Lands Impacts)
  - Section 4(f) *de minimis* Exhibit (Historic Property Impacts)
- Station 5 – Comment & Questions Submittal
  - Submit Comment Online
  - Submit Comment Form

A narrative explanation was provided for each exhibit. The Public Information Meeting website exhibits are located in Attachment E.

Photographs/screenshots from the Virtual Public Information Meeting website can be viewed below:



143rd Street Virtual Public Meeting | <https://www.143rdstreetproject.com>

## Station 1: Project Overview

### 143rd Street Corridor

The Village leadership is taking part in a multi-jurisdictional effort to improve the 143rd Street corridor to widen it to five lanes from I-355 on the west to Cicero Avenue on the east, a distance of 15.1 miles. Currently, 8.9 miles of the corridor have been improved to five lanes, 2.6 miles of which are within Orland Park (Beacon Avenue just west of the Southwest Metra Service Line to the Village limits on the east). West of Beacon Avenue to Will-Cook Road (the west Village municipal limits), 143rd Street remains a 2/3 lane roadway and experiences significant congestion, safety issues, mobility deficiencies, roadway flooding, and lacks continuous sidewalk/paths.

This Phase I Engineering Study is focused on 143rd Street from Wolf Road on the west to Southwest Highway on the east, a distance of 1.7 miles. 143rd Street is five lanes at the eastern project limit (east of Southwest Highway) and is planned to be five lanes at the western limit (west of Wolf Road). The Village is currently in Phase II Engineering for Improvements to 143rd Street from Will-Cook Road to Wolf Road.

**ORLAND PARK 143RD STREET IMPROVEMENTS (WOLF ROAD TO SOUTHWEST HIGHWAY)**

**143RD STREET CORRIDOR – I-355 TO IL 50 (CICERO AVE)**

COMPLETED 5-LANE ROADWAY | PLANNED 5-LANE ROADWAY | PROJECT STUDY AREA

**143RD STREET (WOLF ROAD TO SOUTHWEST HIGHWAY) PROJECT STUDY AREA**

**CICERO AVENUE / I-290 INTERCHANGE**

**143RD STREET / I-355 INTERCHANGE**

**THE PROJECT STUDY LIMITS ARE ALONG 143RD STREET FROM WOLF ROAD ON THE WEST TO SOUTHWEST HIGHWAY ON THE EAST, A DISTANCE OF 1.7 MILES.**

143rd Street Virtual Public Meeting | [143rdstreetproject.com](https://www.143rdstreetproject.com)

## Station 2: Project Information

### Traffic Information

One of the initial steps in the project development process is identifying the transportation issues and needs. Traffic counts are collected at all major intersections. Then traffic projections are obtained from the Chicago Metropolitan Agency for Planning (CMAP) for the design year (year 2040), which is utilized for analysis and design of the project. Currently 143rd Street has an average of 14,600 vehicles per day, which is projected to increase to 23,000 vehicles per day by year 2040, an increase of 58%.

**ORLAND PARK 143RD STREET IMPROVEMENTS (WOLF ROAD TO SOUTHWEST HIGHWAY)**

**TRAFFIC INFORMATION**

**IF NO IMPROVEMENTS ARE MADE BY THE YEAR 2040, TRAFFIC IS PROJECTED TO INCREASE 58%.**

**143RD STREET FROM WOLF ROAD TO SOUTHWEST HIGHWAY IS UNDER THE MAINTENANCE AND JURISDICTION OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) AND IS MARKED IL ROUTE 7.**

Click image to enlarge

### Capacity

Capacity of each intersection is assessed under the existing conditions, projected to year 2040.

143rd Street Virtual Public Meeting | x | +  
https://www.143rdstreetproject.com

## Station 3: Proposed Improvement Information

### Overall Proposed Improvements

To address the identified project purpose and need, 143rd Street is proposed to be widened from a 2/3-lane roadway to a 5-lane roadway with improved traffic signals, multi-use path (north), sidewalk (south), and new drainage system. A median is included the entire length of the project to provide a left turn lane. The median is typically a barrier type with a short section of flush median (Ridge Avenue to West Avenue).

Click image to enlarge

### Typical Sections

A typical section shows a "slice" of the roadway at certain location along the project. Imagine that you are standing in the middle of the roadway looking to the east, so the left side is to the north and the right side is to the south. The below typical

143rd Street Virtual Public Meeting | x | +  
https://www.143rdstreetproject.com

## Station 4: Land Acquisition

### Land Acquisition

Property acquisition is required to implement the proposed improvements. Detailed analysis was conducted to minimize or avoid private property acquisition. To minimize impacts, 33 retaining walls are proposed throughout the project. The Village currently has not identified funding for land acquisition and is targeting 2023/2024 to initiate. Click on the below exhibit to learn about the different types of property acquisition. If you would like more information on the land acquisition process, [click here for a link to a Federal Highway Administration \(FHWA\) brochure about land acquisition](#) and [click here for a link to the FHWA website](#).

Click image to enlarge

### Forest Preserve Impacts

As part of the proposed improvement, there is proposed use of McGinnis Slough Forest Preserve, which must obtain federal approval. Below is a summary exhibit showing the general locations of the proposed use. [Here is a link to detailed](#)



**Station 5: Comment and Questions Submittal**

*Ways to Comment*

**ORLAND PARK 143RD STREET IMPROVEMENTS (WOLF ROAD TO SOUTHWEST HIGHWAY)**

**VIRTUAL PUBLIC MEETING COMMENT FORM**

The Village of Orland Park is conducting a Virtual Public Meeting related to the 143rd Street Phase I Preliminary Engineering and Environmental Study. The 143rd Street study area is from Wolf Road on the west to Southwest Highway on the east, a distance of 3.7 miles.

This meeting is an opportunity for you to provide comments on the:

- Proposed improvements for 143rd Street (Wolf Road to Southwest Highway)
- Use of property (0.51 acres of permanent easement; 0.35 acres of temporary construction easement) from the McGinnis Slough Forest Preserve associated with the proposed improvements. The Village intends to seek a de minimis impact finding from the Federal Highway Administration (FHWA) based on the project not adversely affecting the features, attributes or activities qualifying the properties for protection under U.S. DOT Section 4(f).
- Use of property (0.37 acres of right-of-way; 0.20 acres of temporary construction easement) from seven historic resources associated with the proposed improvements, including the Old Orland Local Historic District. The Village intends to seek a de minimis impact finding from the Federal Highway Administration based on the project not adversely affecting the features, attributes or activities qualifying the properties for protection under U.S. DOT Section 4(f).

**WAYS TO COMMENT:**

- Visit the Virtual Public Meeting web page: [www.143rdStreetProject.com](http://www.143rdStreetProject.com) and submit comment electronically;
- Visit the Virtual Public Meeting web page to download a Comment Form and Submit (mail, email, fax, or drop off at Village Hall);
- During Virtual Public Meeting (December 17th, 2020 at 6pm)

**To be included in the virtual Public Meeting record, please submit comments by Monday, January 11, 2021.**

**Submit Comment Online**

First Name\* Last Name\*  
Email Address\* Phone\*  
Home Address\*

**Print Comment Submission Form**

[Click here](#) to download a printable comment form. Submittal instructions are located on the form (mail, fax or email).

**Questions**

To request hard copies of project information or:

## 3.2 PUBLIC INFORMATION MEETING

A formal presentation was made at the Public Information Meeting held on December 17, 2020, at 6pm to present project materials and provide the opportunity for attendees to discuss the project directly with project team members and ask questions. The project team presented via PowerPoint and is included as Attachment E.

All Public Information Meeting attendees were given an opportunity to make a comment or ask a question and the project team provided answers to questions. Comments or questions could be verbally spoken and read aloud by the project team or typed in and answered in real time by the project team. A phone number was also provided for those who do not have internet access or a microphone on the computer and would want to participate in the Public Information Meeting. The Public Information Meeting was recorded and posted to the Public Information Meeting website on December 21, 2020.

Eight project team members participated in the Virtual Project Presentation:

1. Matt Huffman	2. Sean Marquez	3. Dave Kleinwachter
4. Phil Santos	5. Julia Nigohosian	6. Shannon Gallagher
7. Mike Matkovic	8. Khurshid Hoda	9.

The Virtual Project Presentation was attended by 29 people. The Virtual Project Presentation participants list is included below:

1. Sameen Khurshid	2. Lou Mulé	3. RITIKA JEEVRAJ
4. Michael Leahy	5. Sobia Naz	6. Joel Van Essen
7. Syeda Zaidi	8. JVickers	9. Robert
10. Bob Sullivan	11. Samia	12. denise1980



13. Senator Bill Cunningham	14. Dana Huffman	15. Van
16. Jacob Lasky	17. Bryan Edwards	18. Mike Lipowski
19. Beenish	20. Bethany Salmon	21. Olson
22. Kimberly Coyle	23. Jane Turley	24. dkeating
25. Galaxy J7 Core	26. Linda Mactaggart	27. Bethany Salmon
28. JMH	29. Jamison Cullen	

Photographs/screenshots from the Virtual Project Presentation can be viewed below:



**ORLAND PARK**

**143RD STREET IMPROVEMENTS (WOLF ROAD TO SOUTHWEST HIGHWAY)**

## AGENDA

1. INTRODUCTIONS & PROJECT TEAM
2. MEETING GUIDELINES
3. HOW TO USE ZOOM
4. 143<sup>RD</sup> STREET EXHIBIT WALK-THROUGH
  - Station 1: Project Overview
  - Station 2: Project Information
  - Station 3: Proposed Improvement Information
  - Station 4: Land Acquisition
  - Station 5: Comment & Question Submittal
5. ZOOM DISCUSSION
  - Written Questions from the Zoom Q&A Box
  - Verbal Statements & Questions

**143rd Street Improvements (Wolf Road to Southwest Highway)**

**Virtual Public Meeting**

### Welcome!

The Village of Orland Park welcomes you to the Virtual Public Meeting for the proposed improvements to 143rd Street from Wolf Road to Southwest Highway as part of the Phase I Engineering Study. This website has been created to provide project information and solicit public comments. The virtual meeting will be conducted in an open house format where attendees will have the opportunity to review exhibits, provide input on the proposed improvement plan, and submit questions or comments from December 10, 2020 to January 11, 2021. Interested persons may view the Virtual Public Meeting website at any time. [Please click here for a PDF copy of the project brochure.](#)

**Virtual Project Presentation**  
Dec. 17, 2020 (6p.m.)

A live virtual project presentation (via Zoom) will be held on December 17, 2020 at 6 p.m. to present project materials and provide the opportunity to talk directly to project team and ask questions. The virtual presentation will be recorded and posted to the virtual Public Meeting web page. For those that may not have access to the internet or a microphone on your computer, you may call in to the meeting.

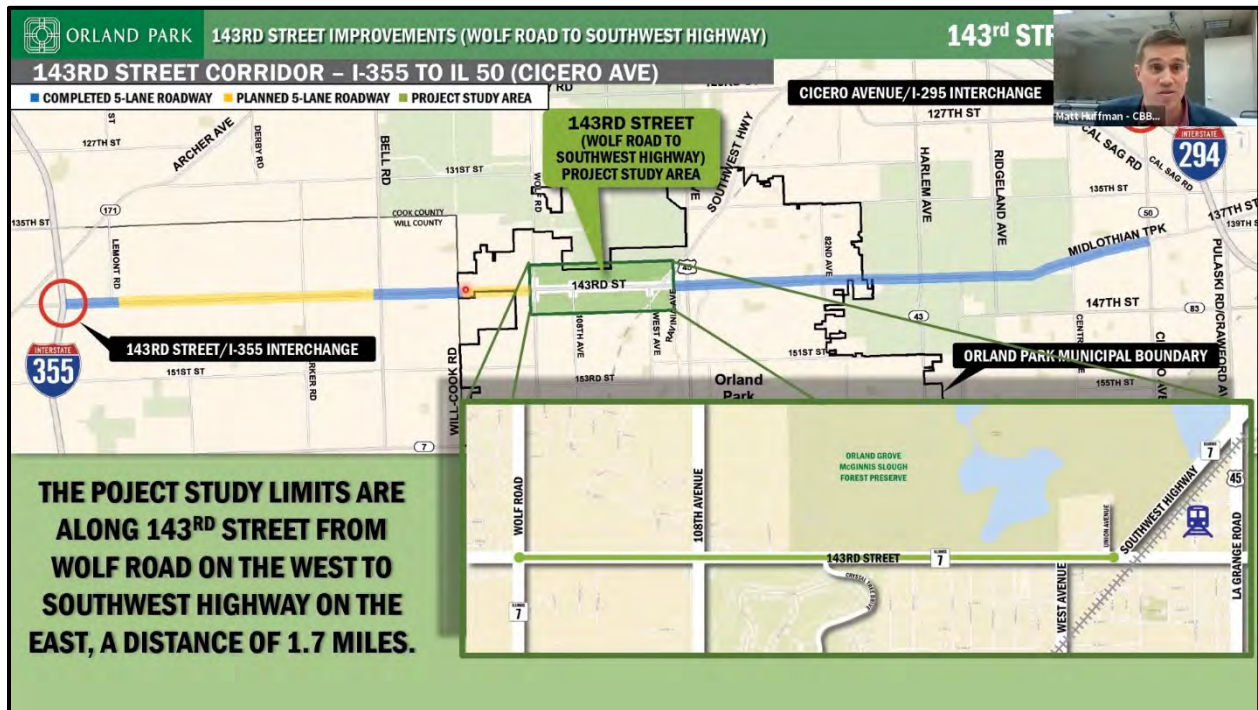
DATE: Thursday, December 17, 2020  
TIME: 6 p.m.  
WEBSITE: <https://zoom.us/join>  
MEETING ID: 984 8799 7149  
PASSCODE: 7037098  
PHONE: 312-626-6799, 864 8799 7149#

**Virtual Public Meeting**

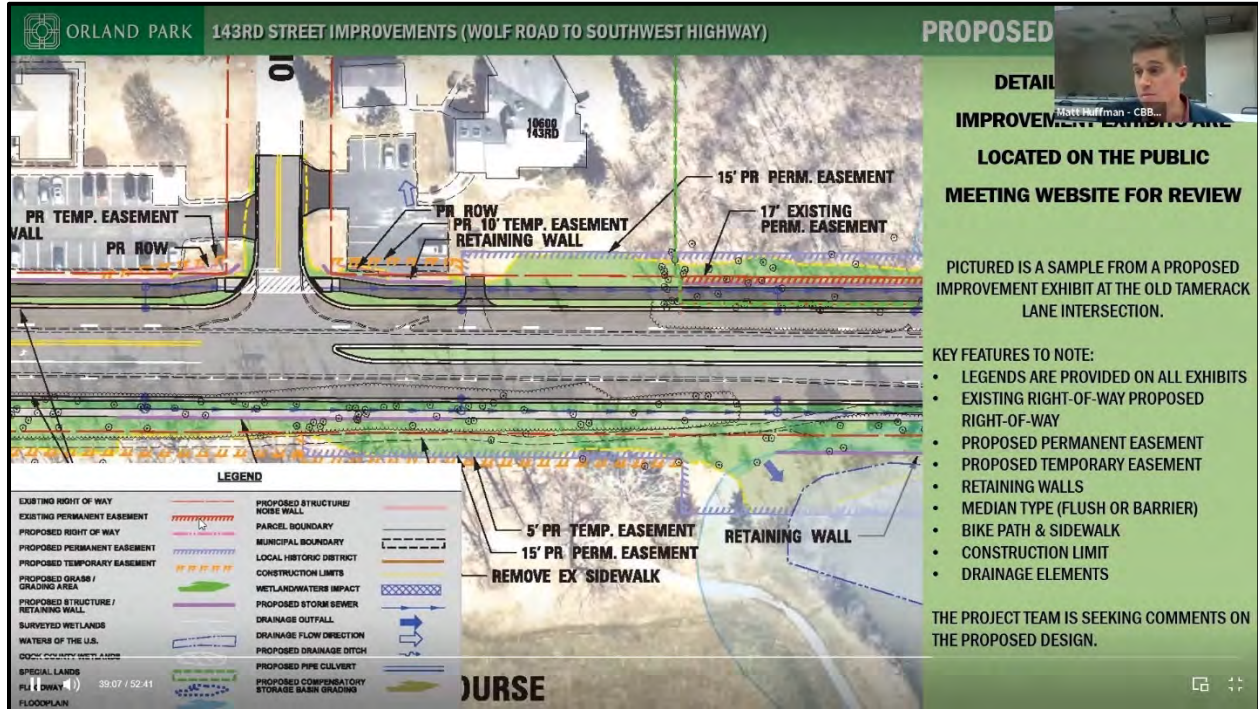
Below is a series of stations to take you through the project exhibits. Click on the exhibits to open the full-size file in a new window. Once open, you have the ability to zoom in.

[PROJECT OVERVIEW](#)
[PROJECT INFO](#)
[IMPROVEMENT INFO](#)
[LAND ACQUISITION](#)
[COMMENT SUBMISSION](#)

### Station 1: Project Overview







## 4 COMMENTS

A one month long comment period (December 11, 2020 to January 11, 2021) was provided starting with the launch of the Public Information Meeting website, which went live (December 11, 2020) and a 3-½ week long comment period after the Public Information Meeting Presentation was provided to allow Public Information Meeting participants notification and time to review materials and provide comments and questions.

A total of 68 comments/questions were received by the close of the comment period on January 11th, 2021. A total of 22 comments/questions were received at the Public Information Meeting on December 17, 2020; these chat box questions and comments are located in Attachment G. A total of 46 written comments/questions were received and are located in Attachment H.

Attachment A

Elected Officials and Agencies Letters

**MAYOR**  
Keith Pekau

**VILLAGE CLERK**  
John C. Mehalek

14700 S. Ravinia Avenue  
Orland Park, IL 60462  
708.403.6100  
OrlandPark.org



**TRUSTEES**

Kathleen M. Fenton  
James V. Dodge  
Daniel T. Calandriello  
William R. Healy  
Cynthia Nelson Katsenes  
Michael R. Milani

December 4, 2020

United States Postal Service  
Postmaster  
United States Postal Service  
9500 W. 144th Place  
Orland Park, IL 60462

Dear :

The Village of Orland Park (Village) is hosting a Virtual Public Meeting related to the improvements to 143<sup>rd</sup> Street from Wolf Road to Southwest Highway. The purpose of the meeting is to seek public comments on the proposed improvements to 143<sup>rd</sup> Street as part of the Phase I Engineering and Environmental Study.

The proposed improvement generally consists of reconstruction and widening of 143<sup>rd</sup> Street from a 2 or 3 lane roadway to a 5-lane roadway from Wolf Road to Southwest Highway. Also included in the project is a separate multi-use path (along the north), sidewalk (along the south), and new drainage system. This 1.7 mile segment of 143<sup>rd</sup> Street from Wolf Road to Southwest Highway is the last segment to be widened within the 15.1 mile corridor (I-355 to Cicero Ave.). The 13.4 mile remainder of the corridor has already been widened to 5-lanes or is planned to be widened. A project brochure is enclosed which further describes the proposed improvements.

Due to COVID 19 restrictions, the 143<sup>rd</sup> Street Public Meeting will be held virtually in an open house format facilitated through a Virtual Public Meeting web page, meaning interested persons can view the project information via the Virtual Public Meeting web page at any time during the open comment period between the dates indicated below. Project information will be provided, including a project overview, details of the proposed improvements, land acquisition process, and ways for stakeholders to comment. The details of the Virtual Public Meeting are as follows:

**Date:** Monday, December 10, 2020 through January 11, 2021  
**Meeting Web Page:** [www.143rdStreetProject.com](http://www.143rdStreetProject.com)

A virtual live project presentation will be made (via Zoom) on December 17, 2020 to present project information and provide attendees the opportunity to talk directly to the project team, ask questions, or make public comments. The attendees will also have the option to call into the meeting if they do not have access to a computer or internet or a microphone on their computer. The live virtual project presentation will be recorded and posted to the Virtual Public Meeting web page for those that cannot attend. Hard copies of project information can be requested from the Village (contact information below).

**Date:** Thursday, December 17, 2020  
**Time:** 6 p.m.  
**Website:** <https://zoom.us/join>  
**Meeting ID:** 984 8799 7149  
**Passcode:** 763106  
**Phone:** 312-626-6799; 98487997149#



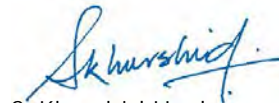
Questions and comments submitted by January 11, 2021 will be specifically added to the Public Meeting record. Comments can be submitted via the project comment form or submitted electronically. Please visit the virtual Public Meeting website at [www.143rdStreetProject.com](http://www.143rdStreetProject.com) for more information on how to submit comments.

Following the comment period, the project team will evaluate and respond to all comments received. Preparation of the final Phase I Engineering report will occur in Spring 2021 for approval by the Illinois Department of Transportation (IDOT). After approval, the Village will begin Phase II (Design) Engineering, which will take approximately 18 months. Land acquisition is currently unfunded and is not anticipated to begin until 2023/2024, at which time Village representatives will reach out to each individual property owner to initiate the land acquisition process. The land acquisition process takes approximately 18 to 24 months. Construction, which is currently unfunded, would begin following the completion of land acquisition.

If you have any questions, need additional information, or would like to discuss the improvements, please contact Khurshid Hoda, Director of Engineering Programs and Services, at [khoda@orlandpark.org](mailto:khoda@orlandpark.org) or (708) 403-6128.

Please visit the Village 143<sup>rd</sup> Street project page for information and updates throughout the duration of the project:  
<https://orlandpark.org/services/engineering-programs-and-services/143rd-street-widening-project>

Sincerely,



S. Khurshid Hoda  
Director, Engineering Programs and Services  
Village of Orland Park

Enclosures

Prefix	First Name	Last Name	Post-Nominal Letters	Affiliation	Title	Office Address	City	State	Zip Code
	United States Postal Service			United States Postal Service	Postmaster	9500 W. 144th Place	Orland Park	IL	60462
Honorable	William	Cunningham		Illinois State Senate - 18th District	Senator	10400 South Western Avenue	Chicago	IL	60643
Honorable	Frances	Hurley		Illinois House of Representatives - 35th District	Representative	10400 South Western Avenue	Chicago	IL	60643
Honorable	Daniel	Lipinski		US. Congress - 3rd District of Illinois	Congressman	5210 W. 95th Street, Suite 104	Oak Lawn	IL	60453
Mr.	Anthony	Quigley	P.E.	Illinois Department of Transportation	Region 1 Engineer	201 West Center Court	Schaumburg	IL	60196-1096
Honorable	George	Yukich		Village of Homer Glen	Mayor	14240 W. 151st Street	Homer Glen	IL	60491
Mr.	Michael	Salamowicz		Village of Homer Glen	Developent Services Director	14240 W. 151st Street	Homer Glen	IL	60491
Ms.	Karie	Friling		Village of Homer Glen	Village Manager	14240 W. 151st Street	Homer Glen	IL	60491
Mr.	Brian	Yunker		Orland Township	Highway Commissioner	14807 S. Ravinia Ave.	Orland Park	IL	60462
Mr.	Jeff	Ronaldson	P.E.	Will County Division of Transportation	Director of Transportation   County Engineer	16841 W. Laraway Road	Joliet	IL	60433
Ms.	Tara	Orbon		Cook County Department of Transportation and Highways	Bureau Chief of Project Development	69 W. Washington St., 24th Floor	Chicago	IL	60602
Mr.	Ed	Barsotti		Ride Illinois	Senior Consultant	815 Leicester Rd., Suite 314	Elk Grove Village	IL	60007
Chief	Michael	Schofield		Orland Fire Protection District	Fire Chief	9790 W. 151st Street	Orland Park	IL	60462
Mr.	John	Byrk		Orland School Distict 135	Superintendent	15100S. 94th Avenue	Orland Park	IL	60462
Mr.	Brian	Fogarty		Park School	Principal	9960 West 143rd Street	Orland Park	IL	60462
Dr.	Jennifer	Tyrrell		Carl Sandburg High School	Principal	13300 S. LaGrange Road	Orland Park	IL	60462
Mr.	Paul	Smith		St. Michael School	Principal	14327 S. Highland Ave.	Orland Park	IL	60462
Ms.	Maria	Camarena		Mi Sol montessori Academy	School Leader	14249 S. Wolf Road	Orland Park	IL	60467
Mr.	Noé	Gallardo		Metra	Director of Community Affairs	547 W. Jackson Blvd.	Chicago	IL	60661
Ms.	Janet	Rogers		South Suburban Cook County Mosquito Abatement District	Operations Superintendant	15500 Dixie Highway	Harvey	IL	60426
Mr.	John	Tomasoski		Village of Mokena	Village Administrator	11004 Carpenter Street	Mokena	IL	60448
Mr.	David	Niemeyer		Village of Tinley Park	Village Manager	16250 S. Oak Park Ave.	Tinley Park	IL	60477
Mr.	Brian	O'Neill		Village of Orland Hills	Village Administrator	16033 S. 94th Ave.	Orland Hills	IL	60487
Mr.	Ben	Benson		City of Lockport	City Administrator	222 E 9th Street	Lockport	IL	60441
Honorable	Gerald	Bennett		City of Palos Hills	Mayor	10335 S. Roberts Rd.	Palos Hills	IL	60465
Mr.	Dan	Nisavic		City of Palos Heights	City Administrator	7607 W. College Drive	Palos Heights	IL	60463

Attachment B

Land Acquisition Letter and Exhibits

**MAYOR**  
Keith Pekau

**VILLAGE CLERK**  
John C. Mehalek

14700 S. Ravinia Avenue  
Orland Park, IL 60462  
708.403.6100  
OrlandPark.org



**TRUSTEES**

Kathleen M. Fenton  
James V. Dodge  
Daniel T. Calandriello  
William R. Healy  
Cynthia Nelson Katsenes  
Michael R. Milani

December 8, 2020

**SENT CERTIFIED MAIL**

RE: Village Orland Park  
143<sup>rd</sup> Street Improvement (Wolf Road to Southwest Highway)  
Proposed Property Acquisition Notification  
Property Index Number (PIN): 27-04-300-001 (13900 WEST ST), 27-04-413-017 (14215 OAK PL.),  
27-04-413-024 (14112 BEACON ST.), 27-05-403-001 (14200 WOLF RD.)

Dear [REDACTED]:

The Village of Orland Park (Village) cordially invites you to participate in the Virtual Public Meeting related to the improvements to 143<sup>rd</sup> Street from Wolf Road to Southwest Highway. The purpose of the meeting is to seek public comments on the proposed improvements to 143<sup>rd</sup> Street as part of the Phase I Engineering and Environmental Study. It is the policy of the Village to provide all affected and interested persons an opportunity to learn about the project and provide comments/input at a stage of project development when the flexibility to respond to those comments/input still exists.

The proposed improvement generally consists of reconstruction and widening of 143<sup>rd</sup> Street from a 2 or 3 lane roadway to a 5-lane roadway from Wolf Road to Southwest Highway. To implement this project, some property acquisition will be required from adjacent properties along the frontage of 143<sup>rd</sup> Street. A project brochure is enclosed which further describes the proposed improvements.

Based upon review of the 2020 tax records of Cook County, you are indicated as the owner of the property listed in the subject line. As part of the proposed 143<sup>rd</sup> Street improvements, there is proposed property acquisition from your property as indicated on the enclosed preliminary aerial exhibit. You will be compensated for the proposed property acquisition based on current market value in accordance with requirements of the Illinois Department of Transportation. Generally, the permanent land acquisition is needed for sidewalk, multi-use path, and drainage purposes. Temporary land acquisition is needed for grading and driveway replacement. There are three types of property acquisition, as shown on the enclosed exhibit:

- Fee Simple Acquisition – the acquisition of all rights and interest of real property (Indicated as Right-of-Way on the exhibit)
- Permanent Easements – underlying ownership is retained by the property owner, but access is permanently allowed during and after construction for maintenance or facilities such as drainage elements.
- Temporary Easements – underlying ownership is retained by the property owner but access is temporarily allowed only during construction for items such as grading, driveway construction, and other minor improvements.

We would encourage you to participate in this meeting (detailed information below) to understand the proposed improvements and property acquisition process. The project team will be available to discuss the proposed improvements and answer any questions you may have.

Due to COVID 19 restrictions, the 143<sup>rd</sup> Street Public Meeting will be held virtually in an open house format facilitated through a Virtual Public Meeting web page, meaning interested persons can view the project information via the Virtual Public Meeting web page at any time during the open comment period between the dates indicated below. Project information will be provided, including a project overview, details of the proposed improvements, land acquisition process, and ways for stakeholders to comment. The details of the Virtual Public Meeting are as follows:

**Date:** Thursday, December 10, 2020 through January 11, 2021  
**Meeting Web Page:** [www.143rdStreetProject.com](http://www.143rdStreetProject.com)

A virtual live project presentation will be made (via Zoom) on December 17, 2020 to present project information and provide attendees the opportunity to talk directly to the project team, ask general questions, or make public comments. Depending on the number of attendees at the meeting, we may not be able to answer all individualized questions. If this occurs, you can contact the Village to setup a separate time to discuss your questions. The attendees will also have the option to call into the meeting if they do not have access to a computer or internet or a microphone on their computer. The live virtual project presentation will be recorded and posted to the Virtual Public Meeting web page for those that cannot attend. Hard copies of project information can be requested from the Village (contact information below).

**Date:** Thursday, December 17, 2020  
**Time:** 6 p.m.  
**Website:** <https://zoom.us/join>  
**Meeting ID:** 984 8799 7149  
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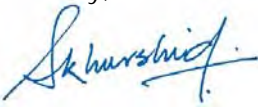
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If you have any questions, need additional information, or would like to discuss the improvements, please contact the Village Department of Engineering Programs and Services, at [eps@orlandpark.org](mailto:eps@orlandpark.org) or (708) 403-6277.

Please visit the Village 143<sup>rd</sup> Street project page for information and updates throughout the duration of the project:  
<http://orlandpark.org/services/engineering-programs-and-services/143rd-street-widening-project>

Sincerely,



S. Khurshid Hoda  
Village of Orland Park - Director, Engineering Programs and Services  
Enclosures



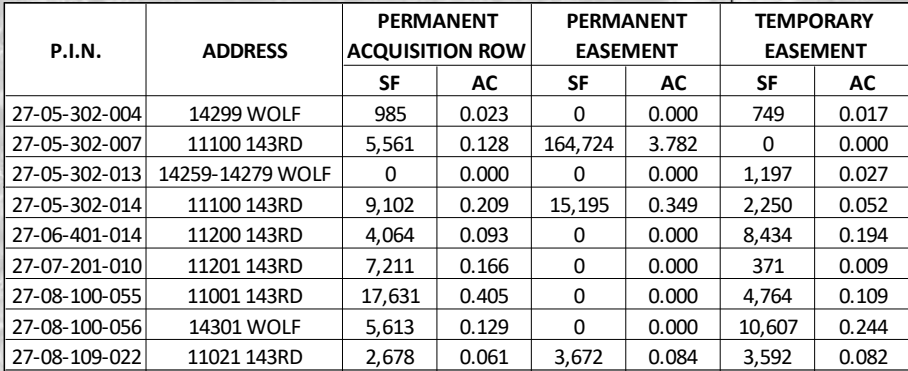
PIN	SITE ADDRESS		TAXPAYER MAILING ADDRESS			
27-04-300-001	13900 WEST ST	ORLAND PARK	536 N. HARLEM AVE	RIVER FOREST	IL	60305
27-04-414-015	9960 143RD ST	ORLAND PARK	15100 S. 94TH AVE	ORLAND PARK	IL	60642
27-04-415-021	9900 142ND ST.	ORLAND PARK	10727 S PULASKI	CHICAGO	IL	60655
27-04-416-009	14352 SOUTHWEST HWY.	ORLAND PARK	11001 W 123RD ST	PALOS PARK	IL	60464
27-04-416-030	14214 OAK ST.	ORLAND PARK	14214 OAK AVE	ORLAND PARK	IL	60462
27-05-302-004	14299 WOLF RD.	ORLAND PARK	14835 WESTWOOD DR	ORLAND PARK	IL	60462
27-05-302-013	14279 WOLF RD.	ORLAND PARK	6135 S NOTTINGHAM AVE	CHICAGO	IL	60638
27-05-302-014	11110 W 143RD ST	ORLAND PARK	14700 S. RAVINIA AVE	ORLAND PARK	IL	60642
27-05-309-010	14232 ASHFORD CT.	ORLAND PARK	14232 ASHFORD CT	ORLAND PARK	IL	60467
27-05-309-011	14238 ASHFORD CT.	ORLAND PARK	14238 ASHFORD CT	ORLAND PARK	IL	60467
27-05-309-012	14244 ASHFORD CT.	ORLAND PARK	14244 ASHFORD CT	ORLAND PARK	IL	60467
27-05-309-013	14252 ASHFORD CT.	ORLAND PARK	14252 ASHFORD CT	ORLAND PARK	IL	60467
27-05-309-019	14200 ASHFORD CT.	ORLAND PARK	PO BOX 948	ORLAND PARK	IL	60462
27-05-314-002	10940 W 143RD ST.	ORLAND PARK	10940 W 143RD ST	ORLAND PARK	IL	60467
27-05-402-017	14243 S 108TH AVE.	ORLAND PARK	14243 S 108TH AVE	ORLAND PARK	IL	60467
27-05-404-016	10600 W 143RD ST.	ORLAND PARK	5 PADDOCK LANE	LEMONT	IL	60439
27-06-401-014	11200 W 143RD ST.	ORLAND PARK	8750 BRYN MAWR, SUITE 1300	CHICAGO	IL	60631
27-06-410-016	14230 WOLF RD.	ORLAND PARK	438 N WEBER RD	ROMEOVILLE	IL	60446
27-06-410-023	11253 ENDICOTT CT.	ORLAND PARK	11253 ENDICOTT CT	ORLAND PARK	IL	60467
27-06-410-024	11255 ENDICOTT CT.	ORLAND PARK	11255 ENDICOTT CT	ORLAND PARK	IL	60467
27-06-410-025	11257 ENDICOTT CT.	ORLAND PARK	11257 ENDICOTT CT	ORLAND PARK	IL	60467
27-06-410-026	11259 ENDICOTT CT.	ORLAND PARK	11259 ENDICOTT CT	ORLAND PARK	IL	60467
27-06-410-072	11243 ENDICOTT CT.	ORLAND PARK	11243 ENDICOTT CT	ORLAND PARK	IL	60467
27-06-410-073	11245 ENDICOTT CT.	ORLAND PARK	11245 ENDICOTT CT	ORLAND PARK	IL	60467
27-06-410-074	11247 ENDICOTT CT.	ORLAND PARK	11247 ENDICOTT CT	ORLAND PARK	IL	60467
27-06-410-083	11263 ENDICOTT CT.	ORLAND PARK	11263 ENDICOTT CT	ORLAND PARK	IL	60467
27-06-410-084	11265 ENDICOTT CT.	ORLAND PARK	11265 ENDICOTT CT	ORLAND PARK	IL	60467
27-06-410-085	11267 ENDICOTT CT.	ORLAND PARK	11267 ENDICOTT CT	ORLAND PARK	IL	60467
27-07-201-009	14360 WOLF RD.	ORLAND PARK	6280 JOLIET RD	COUNTRYSIDE	IL	60525
27-07-201-010	14300 WOLF RD.	ORLAND PARK	ONE CVS DR	WOONSOCKET	RI	
27-07-201-013	11225 W 143RD ST.	ORLAND PARK	8430 W BRYN MAWR ST, SUITE 850	CHICAGO	IL	60631
27-07-201-014	11275 W 143RD ST.	ORLAND PARK	14757 S CICERO	MIDLOTHIAN	IL	60445
27-08-100-069	10955 W 143RD ST.	ORLAND PARK	10955 W. 143RD ST	ORLAND PARK	IL	60467
27-08-100-010	10935 143RD ST.	ORLAND PARK	10935 W 143RD ST	ORLAND PARK	IL	60467
27-08-100-012	10833 143RD ST.	ORLAND PARK	10833 W 143RD ST	ORLAND PARK	IL	60467
27-08-100-022	10841 143RD ST.	ORLAND PARK	14935 ALLISON LANE	HOMER GLEN	IL	60491
27-08-100-055	11100 WOLF RD.	ORLAND PARK	2221 CAMDEN CT #200	OAK BROOK	IL	60523
27-08-100-056	14301 S WOLF RD.	ORLAND PARK	4080 W JONATHAN MOORE	COLUMBUS	IN	47201
27-08-100-063	10811 W 143RD ST.	ORLAND PARK	10751 W 143RD ST	ORLAND PARK	IL	60462
27-08-100-065	10901 W 143RD ST	ORLAND PARK	15500 DIXIE HIGHWAY	HARVEY	IL	60426
27-08-200-014	14500 CRYSTAL TREE DR.	ORLAND PARK	PO BOX 186	ORLAND PARK	IL	60462
27-08-200-015	14301 CRYSTAL TREE DR.	ORLAND PARK	14301 CRYSTAL TREE DR	ORLAND PARK	IL	60462
27-08-200-016	14303 CRYSTAL TREE DR.	ORLAND PARK	14303 CRYSTAL TREE DR	ORLAND PARK	IL	60462
27-08-200-017	14305 CRYSTAL TREE DR.	ORLAND PARK	14305 CRYSTAL TREE DR	ORLAND PARK	IL	60462
27-08-200-018	14307 CRYSTAL TREE DR.	ORLAND PARK	14307 CRYSTAL TREE DR	ORLAND PARK	IL	60462
27-08-200-019	14311 CRYSTAL TREE DR.	ORLAND PARK	14311 CRYSTAL TREE	ORLAND PARK	IL	60462
27-08-200-020	14315 CRYSTAL TREE DR.	ORLAND PARK	14315 CRYSTAL TREE	ORLAND PARK	IL	60462
27-08-201-022	10751 143RD ST.	ORLAND PARK	10751 W 143RD ST	ORLAND PARK	IL	60462
27-08-201-023	14500 CRYSTAL TREE DR.	ORLAND PARK	14500 CRYSTAL TREE DR	ORLAND PARK	IL	60462
27-08-402-048	14715 GOLF RD.	ORLAND PARK	14715 GOLF RD	ORLAND PARK	IL	60462
27-09-102-019	10267 143RD ST.	ORLAND PARK	10267 W 143RD ST	ORLAND PARK	IL	60462
27-09-102-021	14310 RANEYS LN.	ORLAND PARK	14310 RANEYS LN	ORLAND PARK	IL	60462
27-09-103-001	10225 143RD ST.	ORLAND PARK	1N037 ETHEL ST	WHEATON	IL	60187
27-09-103-002	10217 143RD ST.	ORLAND PARK	10217 W 143RD ST	ORLAND PARK	IL	60462
27-09-103-004	10205 143RD ST.	ORLAND PARK	PO BOX 1717	FRANKFORT	IL	60423
27-09-104-010	10175 143RD ST.	ORLAND PARK	15641 114TH AVE	ORLAND PARK	IL	60467
27-09-104-011	10173 143RD ST.	ORLAND PARK	10173 W 143RD ST	ORLAND PARK	IL	60462
27-09-104-012	10153 143RD ST.	ORLAND PARK	10153 W 143RD ST	ORLAND PARK	IL	60462

PIN	SITE ADDRESS		TAXPAYER MAILING ADDRESS			
27-09-104-020	14308 WOODLAND DR.	ORLAND PARK	14308 S WOODLAND	ORLAND PARK	IL	60462
27-09-105-001	10125 143RD ST.	ORLAND PARK	10125 W 143RD ST	ORLAND PARK	IL	60462
27-09-105-003	10117 143RD ST.	ORLAND PARK	10117 W 143RD ST	ORLAND PARK	IL	60462
27-09-105-004	10115 143RD ST.	ORLAND PARK	10115 W 143RD ST	ORLAND PARK	IL	60462
27-09-105-019	14310 HIGHLAND AVE.	ORLAND PARK	14310 HIGHLAND AVE	ORLAND PARK	IL	60462
27-09-106-003	14327 HIGHLAND AVE	ORLAND PARK	14327 HIGHLAND AVE	ORLAND PARK	IL	60462
27-09-107-009	10001 143RD ST.	ORLAND PARK	10001 W 143RD ST	ORLAND PARK	IL	60462
27-09-200-001	14301 WEST AVE.	ORLAND PARK	9999 W 143 RD ST	ORLAND PARK	IL	60462
27-09-200-014	9959 143RD ST.	ORLAND PARK	9959 W 143RD ST	ORLAND PARK	IL	60462
27-09-200-017	9953 W 143RD ST.	ORLAND PARK	9953 W 143RD ST	ORLAND PARK	IL	60462
27-09-201-015	14310 S UNION AVE.	ORLAND PARK	1507 E 53RD ST #193	CHICAGO	IL	60615
27-09-202-003	9869 143RD ST.	ORLAND PARK	9869 W 143RD ST	ORLAND PARK	IL	60462
27-06-412-018	14011 NORWICH LN	ORLAND PARK	14011 NORWICH LANE #101	ORLAND PARK	IL	60467
27-08-109-022	11021 W 143RD ST	ORLAND PARK	9485 BORMET DRIVE	ORALND PARK	IL	60448
27-05-402-020	10760 W 143RD ST	ORLAND PARK	10001 187TH ST	MOKENA	IL	60448
27-05-404-017	10660 143RD ST	ORLAND PARK	10660 W 143RD ST	ORLAND PARK	IL	60462
27-08-204-024	14557 MORNINGSIDE RD	ORLAND PARK	PO BOX 186	ORLAND PARK	IL	60462

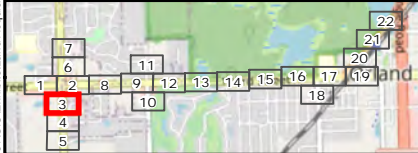
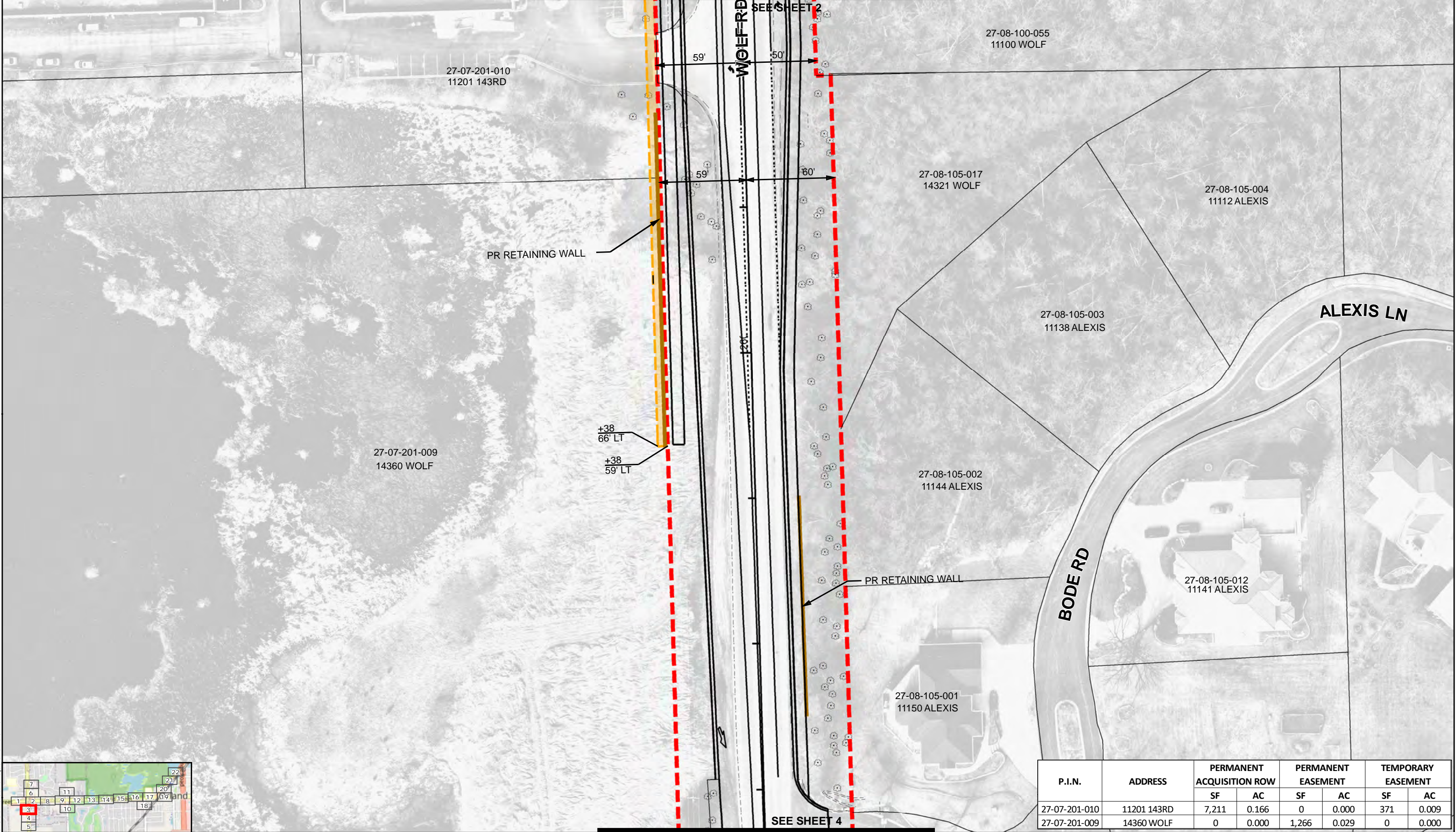












P.I.N.	ADDRESS	PERMANENT ACQUISITION ROW		PERMANENT EASEMENT		TEMPORARY EASEMENT	
		SF	AC	SF	AC	SF	AC
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27-07-201-009	14360 WOLF	0	0.000	1,266	0.029	0	0.000









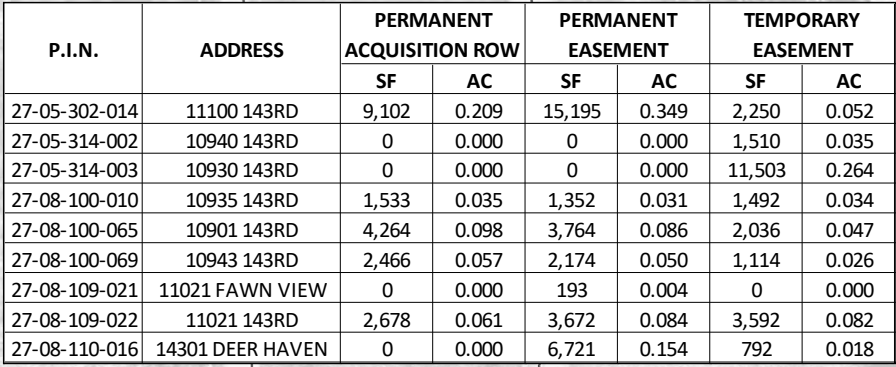




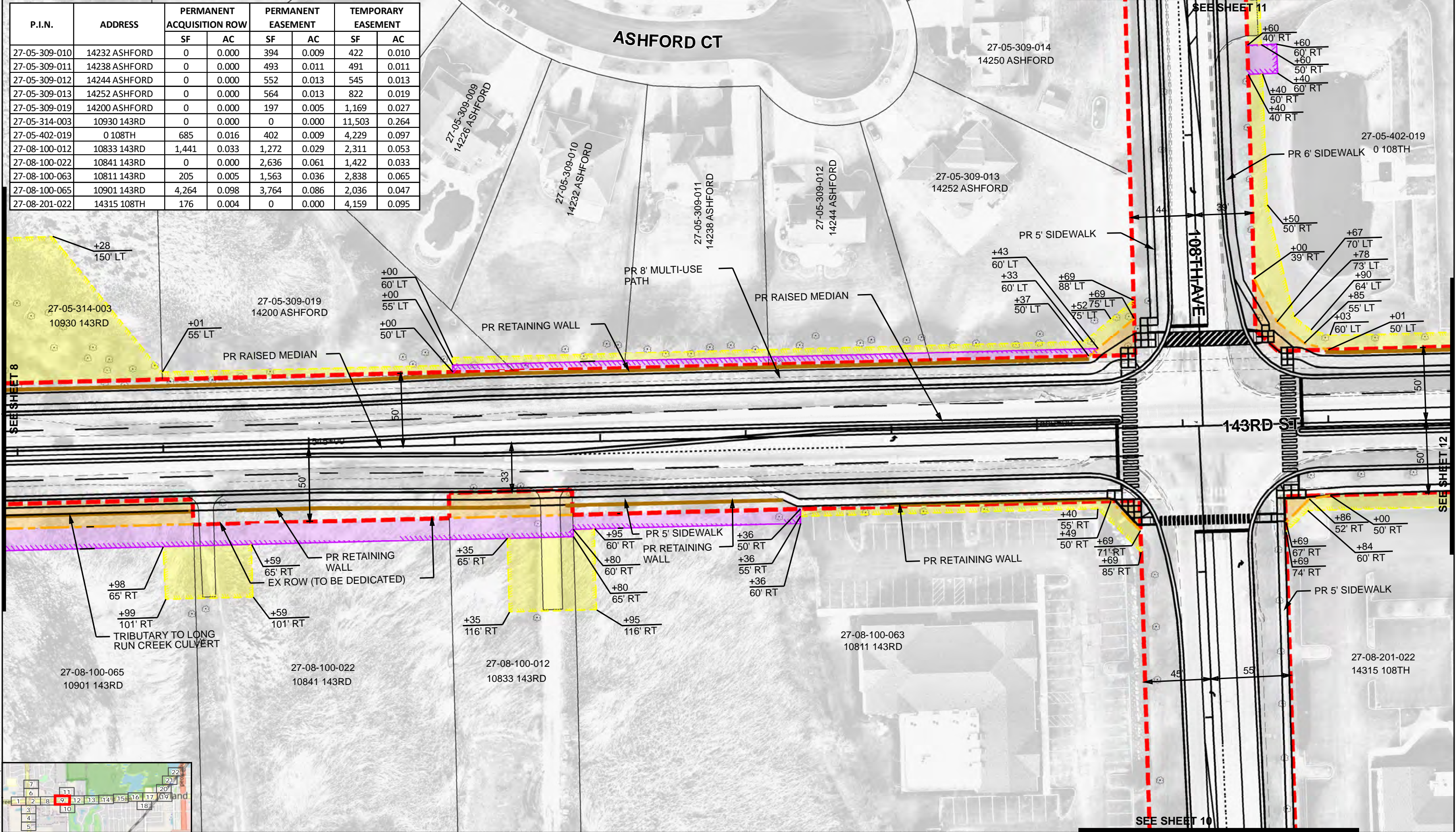














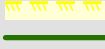
LEGEND



EXISTING ROW  
EXISTING EASEMENT



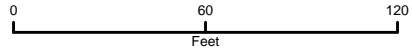
PROPOSED ROW  
PROPOSED PERMANENT EASEMENT  
PROPOSED TEMPORARY EASEMENT



FOREST PRESERVE/SPECIAL LANDS  
VEGETATION/TREE



PROPOSED RETAINING WALL



P.I.N.	ADDRESS	PERMANENT ACQUISITION		PERMANENT EASEMENT		TEMPORARY EASEMENT	
		SF	AC	SF	AC	SF	AC
27-08-100-063	10811 143RD	205	0.005	1,563	0.036	2,838	0.065
27-08-201-022	14315 108TH	176	0.004	0	0.000	4,159	0.095
27-08-201-023	14553 108TH	541	0.012	24,975	0.573	11,214	0.257

143RD STREET IMPROVEMENTS LAND ACQUISITION INFORMATION

PROPERTY ACQUISITION FOLLOWS THE FEDERAL UNIFORM ACT AND GENERALLY INCLUDES DETERMINATION OF OWNERSHIP, APPRAISAL, AND NEGOTIATION. OWNERS WILL BE COMPENSATED FOR THE PROPOSED PROPERTY ACQUISITION BASED ON CURRENT MARKET VALUE IN ACCORDANCE WITH REQUIREMENTS OF IDOT. THERE ARE THREE TYPES OF LAND ACQUISITION:

FEE SIMPLE ACQUISITION (ORANGE) - THE ACQUISITION OF ALL RIGHTS AND INTEREST OF REAL PROPERTY (INDICATED AS RIGHT-OF-WAY ON THE EXHIBIT)

PERMANENT EASEMENTS (PURPLE) - UNDERLYING OWNERSHIP IS RETAINED BY THE PROPERTY OWNER, BUT ACCESS IS PERMANENTLY ALLOWED DURING AND AFTER CONSTRUCTION FOR MAINTENANCE OR FACILITIES SUCH AS DRAINAGE ELEMENTS.

TEMPORARY EASEMENTS (YELLOW) - UNDERLYING OWNERSHIP IS RETAINED BY THE PROPERTY OWNER BUT ACCESS IS TEMPORARILY ALLOWED ONLY DURING CONSTRUCTION FOR ITEMS SUCH AS GRADING, DRIVEWAY CONSTRUCTION, AND OTHER MINOR IMPROVEMENTS.

TITLE:  
**143RD STREET IMPROVEMENTS LAND ACQUISITION**

PROJ. NO. 140381  
DATE: 12/04/2020  
SHEET 10 of 22  
DRAWING NO.  
**SHEET 10**

**CHRISTOPHER B. BURKE** ENGINEERING LTD  
9575 West Higgins Road, Suite 600  
Rosemont, Illinois 60018  
(847) 823-0500

CLIENT:  
**ORLAND PARK**















NOTE: AERIAL PHOTOGRAPH TAKEN FROM NEARMAP, DATED: 09/25/2020  
SERVICE LAYER CREDITS: COPYRIGHT NEARMAP 2015  
(C) OPENSTREETMAP AND CONTRIBUTORS, CREATIVE COMMONS-SHARE ALIKE

LEGEND



EXISTING ROW  
EXISTING EASEMENT



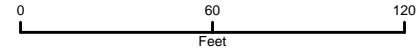
PROPOSED ROW  
PROPOSED PERMANENT EASEMENT



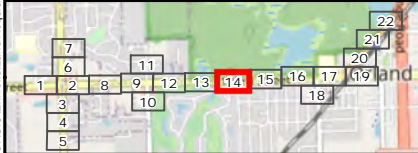
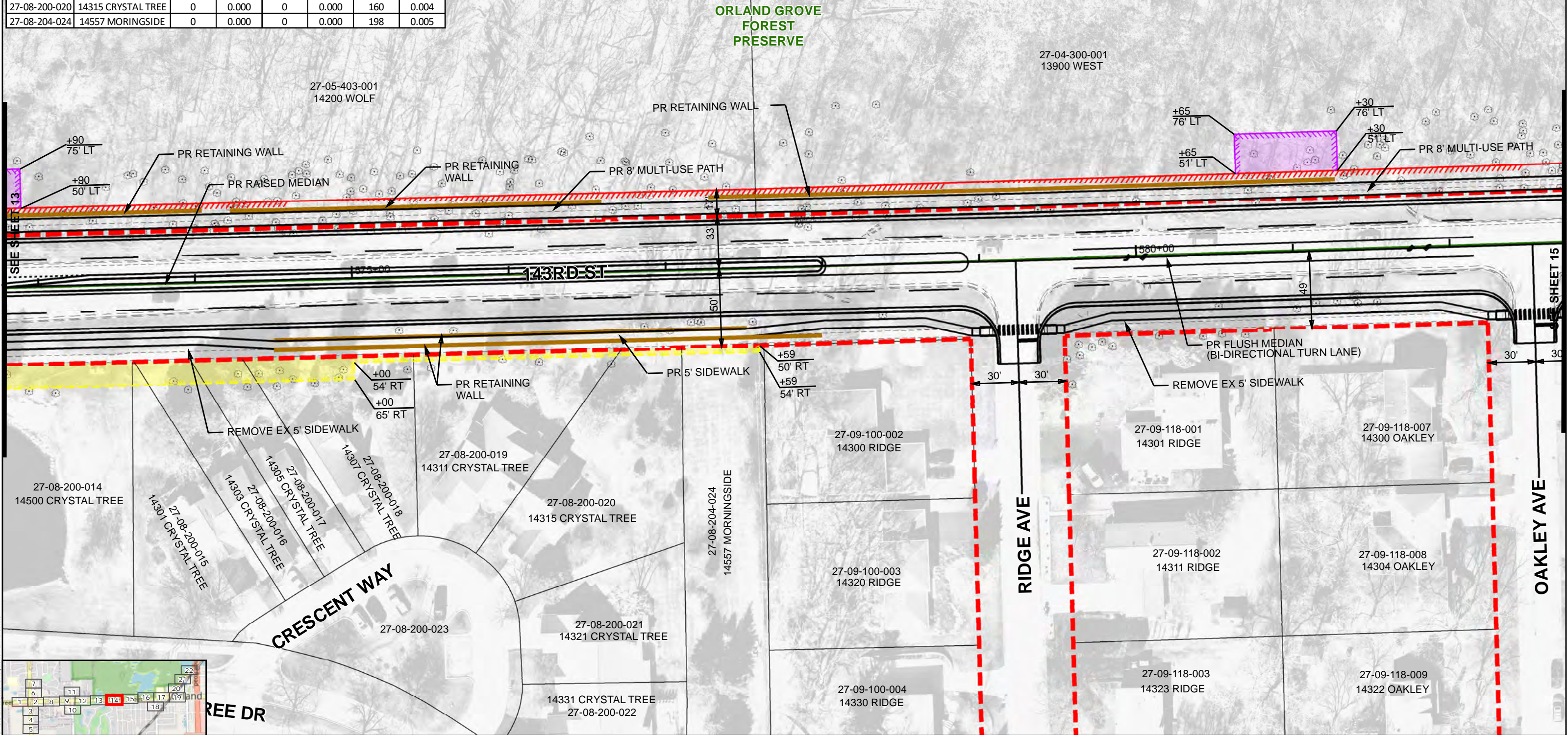
PROPOSED TEMPORARY EASEMENT  
FOREST PRESERVE/SPECIAL LANDS



PROPOSED RETAINING WALL  
VEGETATION/TREE



P.I.N.	ADDRESS	PERMANENT ACQUISITION ROW		PERMANENT EASEMENT		TEMPORARY EASEMENT	
		SF	AC	SF	AC	SF	AC
27-04-300-001	13900 WEST	0	0.000	8,303	0.191	6,600	0.152
27-05-403-001	14200 WOLF	0	0.000	10,379	0.238	0	0.000
27-08-200-014	14500 CRYSTAL TREE	565	0.013	0	0.000	5,254	0.121
27-08-200-015	14301 CRYSTAL TREE	0	0.000	0	0.000	88	0.002
27-08-200-016	14303 CRYSTAL TREE	0	0.000	0	0.000	539	0.012
27-08-200-017	14305 CRYSTAL TREE	0	0.000	0	0.000	498	0.011
27-08-200-018	14307 CRYSTAL TREE	0	0.000	0	0.000	1,149	0.026
27-08-200-019	14311 CRYSTAL TREE	0	0.000	0	0.000	524	0.012
27-08-200-020	14315 CRYSTAL TREE	0	0.000	0	0.000	160	0.004
27-08-204-024	14557 MORINGSIDE	0	0.000	0	0.000	198	0.005



**CHRISTOPHER B. BURKE** ENGINEERING LTD  
9575 West Higgins Road, Suite 600  
Rosemont, Illinois 60018  
(847) 823-0500

CLIENT:

ORLAND PARK

**143RD STREET IMPROVEMENTS LAND ACQUISITION INFORMATION**  
PROPERTY ACQUISITION FOLLOWS THE FEDERAL UNIFORM ACT AND GENERALLY INCLUDES DETERMINATION OF OWNERSHIP, APPRAISAL, AND NEGOTIATION. OWNERS WILL BE COMPENSATED FOR THE PROPOSED PROPERTY ACQUISITION BASED ON CURRENT MARKET VALUE IN ACCORDANCE WITH REQUIREMENTS OF IDOT. THERE ARE THREE TYPES OF LAND ACQUISITION:  
**FEE SIMPLE ACQUISITION (ORANGE)** - THE ACQUISITION OF ALL RIGHTS AND INTEREST OF REAL PROPERTY (INDICATED AS RIGHT-OF-WAY ON THE EXHIBIT)  
**PERMANENT EASEMENTS (PURPLE)** - UNDERLYING OWNERSHIP IS RETAINED BY THE PROPERTY OWNER, BUT ACCESS IS PERMANENTLY ALLOWED DURING AND AFTER CONSTRUCTION FOR MAINTENANCE OR FACILITIES SUCH AS DRAINAGE ELEMENTS.  
**TEMPORARY EASEMENTS (YELLOW)** - UNDERLYING OWNERSHIP IS RETAINED BY THE PROPERTY OWNER BUT ACCESS IS TEMPORARILY ALLOWED ONLY DURING CONSTRUCTION FOR ITEMS SUCH AS GRADING, DRIVEWAY CONSTRUCTION, AND OTHER MINOR IMPROVEMENTS.

TITLE:

**143RD STREET IMPROVEMENTS LAND ACQUISITION**

PROJ. NO. 140381

DATE: 12/04/2020

SHEET 14 of 22

DRAWING NO.

**SHEET 14**





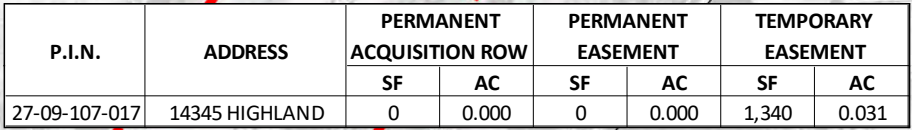






P.I.N.	ADDRESS	PERMANENT ACQUISITION ROW		PERMANENT EASEMENT		TEMPORARY EASEMENT	
		SF	AC	SF	AC	SF	AC
27-04-416-009	14300 SOUTHWEST	5,070	0.116	0	0.000	0	0.000
27-04-416-010	14290 SOUTHWEST	2,003	0.046	0	0.000	720	0.017
27-04-416-011	14280 SOUTHWEST	705	0.016	0	0.000	685	0.016
27-04-416-012	14270 SOUTHWEST	342	0.008	0	0.000	360	0.008
27-04-416-013	14260 SOUTHWEST	257	0.006	0	0.000	307	0.007
27-04-416-032	14240 SOUTHWEST	2,569	0.059	0	0.000	2,419	0.056
27-04-416-033	14231 UNION	212	0.005	0	0.000	47	0.001
27-09-107-009	10001 143RD	0	0.000	0	0.000	562	0.013
27-09-107-017	14345 HIGHLAND	0	0.000	0	0.000	1,340	0.031
27-09-200-001	14301 WEST	485	0.011	0	0.000	462	0.011
27-09-200-002	14301 WEST	84	0.002	0	0.000	128	0.003
27-09-200-003	14301 WEST	60	0.001	0	0.000	98	0.002
27-09-200-014	9959 143RD	135	0.003	0	0.000	247	0.006
27-09-200-017	9953 143RD	111	0.003	0	0.000	0	0.000
27-09-201-015	9911 143RD	204	0.005	0	0.000	0	0.000
27-09-202-003	9869 143RD	0	0.000	0	0.000	298	0.000





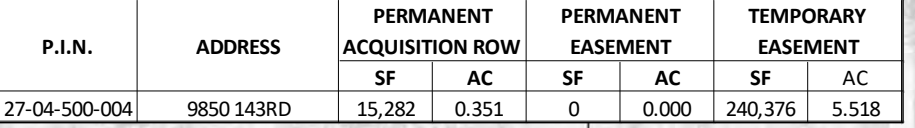














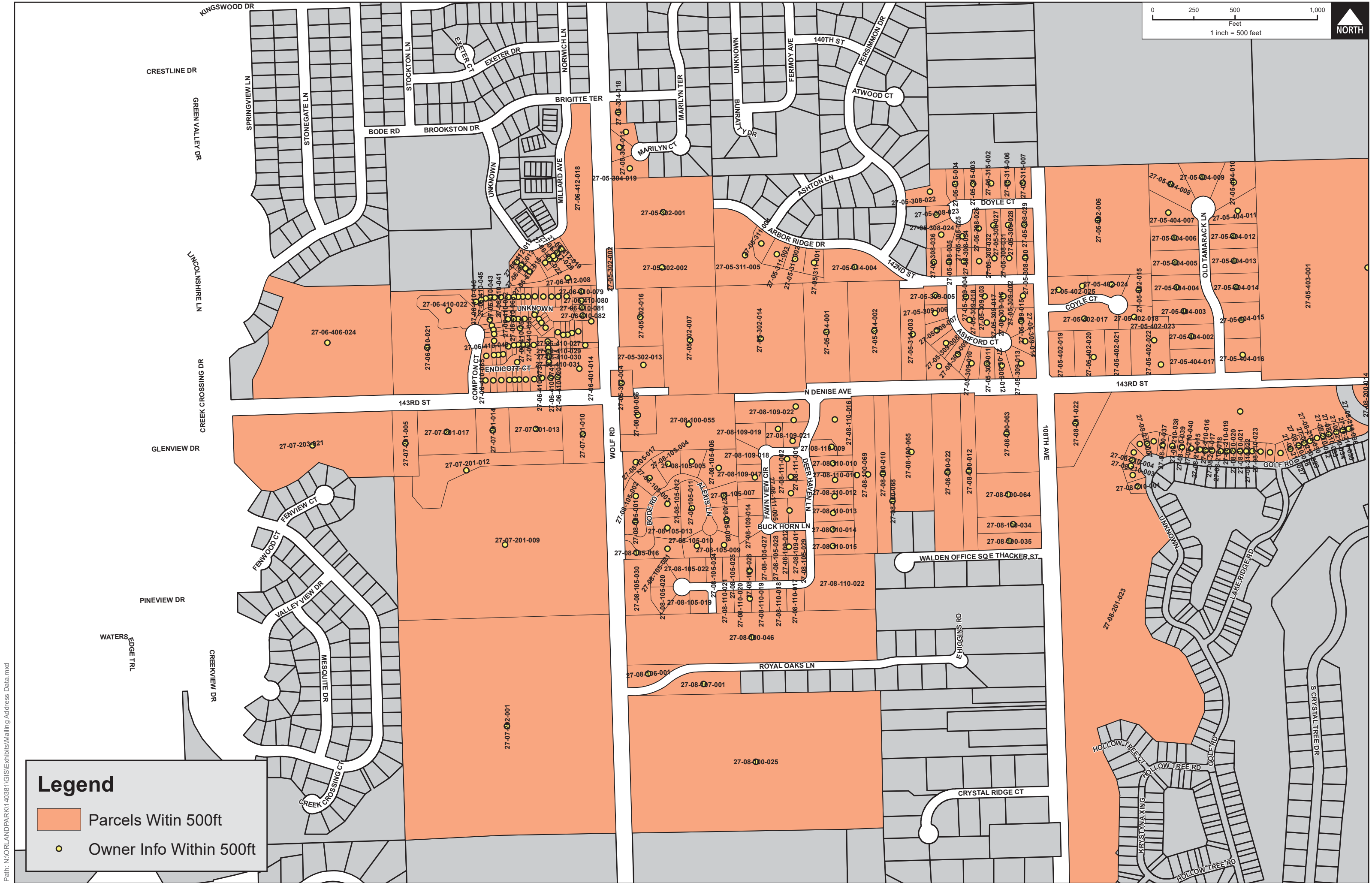




Attachment C

General Mailing









PIN Rev	PIN	CURRENT RESIDENT	SITE ADDRESS	SITE CITY	SITE STATE	SITE ZIP	TAXPAYER NAME	TAXPAYER ADDRESS	TAXPAYER CITY	TAX PAYER S	TAXPAYER EXEMPT C	Owner Occupied
27-09-100-003	2709100003	CURRENT OCCUPANT	14320 RIDGE AVE	ORLAND PARK	IL	60462-1960	A KUDIRKA J KUDIRKA	14320 RIDGE AVE	ORLAND PARK	IL	60462	Yes
27-08-110-018			11031 DEER HAVEN LN	ORLAND PARK	IL	60467	ABDULLAH SALAH	11031 DEER HAVEN LN	ORLAND PARK	IL	60467	Yes
27-05-309-015	2705309015	CURRENT OCCUPANT	14251 ASHFORD CT	ORLAND PARK	IL	60467-1997	ALBERT C GERMOLEC	14251 ASHFORD CT	ORLAND PARK	IL	60467	Yes
27-06-410-070	2706410070	CURRENT OCCUPANT	11246 MELROSE CT	ORLAND PARK	IL	60467-1096	ALBIN KOZLOWSKI	11246 MELROSE CT	ORLAND PARK	IL	60467	Yes
27-05-404-011	2705404011	CURRENT OCCUPANT	11 OLD TAMARACK LN	ORLAND PARK	IL	60462-1977	ALBY DEJONG	11 OLD TAMARACK LN	ORLAND PARK	IL	60462	Yes
27-06-410-054	2706410054	CURRENT OCCUPANT	11254 ENDICOTT CT #54A	ORLAND PARK	IL	60467-1020	ALFRED J & P LEONARD	11254 ENDICOTT CT #54A	ORLAND PARK	IL	60467	Yes
27-06-410-050	2706410050	CURRENT OCCUPANT	11247 MELROSE CT	ORLAND PARK	IL	60467-1096	ALFRED J RIZZO	11247 MELROSE CT	ORLAND PARK	IL	60467	Yes
27-09-103-006	2709103006	CURRENT OCCUPANT	14335 RANEYS LN	ORLAND PARK	IL	60462-1951	ANDREW G BJORNBERG	14335 RANEYS LN	ORLAND PARK	IL	60462	Yes
27-05-309-003	2705309003	CURRENT OCCUPANT	10817 142ND ST	ORLAND PARK	IL	60467-7623	ANDREW J LANG	10817 142ND ST	ORLAND PARK	IL	60467	Yes
27-05-404-010	2705404010	CURRENT OCCUPANT	10 OLD TAMARACK LN	ORLAND PARK	IL	60462-1977	WILLIAM T COBB	10 OLD TAMARACK LN	ORLAND PARK	IL	60462	Yes
27-09-105-002	2709105002	CURRENT OCCUPANT	10125 143RD ST	ORLAND PARK	IL	60462-2027	ROBERT O BENSON	10125 143RD ST	ORLAND PARK	IL	60462	Yes
27-06-410-038	2706410038	CURRENT OCCUPANT	14225 COMPTON CT	ORLAND PARK	IL	60467-0000	ANN M SANSONI	14225 COMPTON CT	ORLAND PARK	IL	60467	Yes
27-06-410-060	2706410060	CURRENT OCCUPANT	11235 MELROSE CT	ORLAND PARK	IL	60467-1096	ANNA CHORZEPA	11235 MELROSE CT	ORLAND PARK	IL	60467	Yes
27-05-309-001	2705309001	CURRENT OCCUPANT	10801 142ND ST	ORLAND PARK	IL	60467-7623	ANNA WISNIEWSKI	10801 142ND ST	ORLAND PARK	IL	60467	Yes
27-06-412-014	2706412014	CURRENT OCCUPANT	14144 HAVERHILL LN	ORLAND PARK	IL	60467-8631	ANTHONY N MAZICH	14144 HAVERHILL LN	ORLAND PARK	IL	60467	Yes
27-05-309-017	2705309017	CURRENT OCCUPANT	14237 S ASHFORD CT	ORLAND PARK	IL	60467-1997	ANTONIO LAMORTE	14237 S ASHFORD CT	ORLAND PARK	IL	60467	Yes
27-09-104-009	2709104009	CURRENT OCCUPANT	10154 144TH ST	ORLAND PARK	IL	60462-2496	M KOVAC	10154 144TH ST	ORLAND PARK	IL	60462	Yes
27-05-404-006	2705404006	CURRENT OCCUPANT	6 OLD TAMARACK LN	ORLAND PARK	IL	60462-1977	ARTHUR J TINAGLIA	6 OLD TAMARACK LN	ORLAND PARK	IL	60462	Yes
27-09-102-005	2709102005	CURRENT OCCUPANT	10254 144TH ST	ORLAND PARK	IL	60462-1979	JEROME REYNOLDS	10254 144TH ST	ORLAND PARK	IL	60462	Yes
27-06-410-038	2706410038	CURRENT OCCUPANT	11001 ARBOR RIDGE DR	ORLAND PARK	IL	60467-8619	BOANADETTE M DALTON	11001 ARBOR RIDGE DR	ORLAND PARK	IL	60467	Yes
27-09-103-014	2709103014	CURRENT OCCUPANT	14345 RANEYS LN	ORLAND PARK	IL	60462-1951	BILL & P POPOWSKI	14345 RANEYS LN	ORLAND PARK	IL	60462	Yes
27-05-304-012	2705304012	CURRENT OCCUPANT	11170 MARILYN CT	ORLAND PARK	IL	60467-7467	BILL KONSTANTINOIS	11170 MARILYN CT	ORLAND PARK	IL	60467	Yes
27-09-103-015	2709103015	CURRENT OCCUPANT	14345 RANEYS LN	ORLAND PARK	IL	60462-1951	BILL POPOWSKI	14345 RANEYS LN	ORLAND PARK	IL	60462	Yes
27-09-102-012	2709102012	CURRENT OCCUPANT	10260 144TH ST	ORLAND PARK	IL	60462-1979	DOUGLAS J MURRAY	10260 144TH ST	ORLAND PARK	IL	60462	Yes
27-05-105-009	2709105009	CURRENT OCCUPANT	14325 WOODLAND AVE	ORLAND PARK	IL	60462-2452	BOB & ARLENE SHEELY	14325 WOODLAND AVE	ORLAND PARK	IL	60462	Yes
27-09-104-007	2709104007	CURRENT OCCUPANT	14320 WOODLAND AVE	ORLAND PARK	IL	60462-2453	BONNIE J FLONDOR	14320 WOODLAND AVE	ORLAND PARK	IL	60462	Yes
27-09-102-010	2709102010	CURRENT OCCUPANT	10275 143RD ST	ORLAND PARK	IL	60462-1984	YVONNE R DONOHUE	10275 143RD ST	ORLAND PARK	IL	60462	Yes
27-08-210-035	2708210035	CURRENT OCCUPANT	10510 GOLF RD	ORLAND PARK	IL	60462-7420	TERRENCE PINTAR	10510 GOLF RD	ORLAND PARK	IL	60462	Yes
27-09-203-024	2709203024	CURRENT OCCUPANT	9965 W 143RD PL	ORLAND PARK	IL	60462-2024	CARMELLO BENZA	9965 W 143RD PL	ORLAND PARK	IL	60462	Yes
27-08-210-001	2708210001	CURRENT OCCUPANT	10692 GOLF RD	ORLAND PARK	IL	60467-7421	CHARL J LINSE	10692 GOLF RD	ORLAND PARK	IL	60462	Yes
27-08-210-018	2708210018	CURRENT OCCUPANT	10620 GOLF RD	ORLAND PARK	IL	60462-7421						NO
27-08-210-040	2708210040	CURRENT OCCUPANT	10638 GOLF RD	ORLAND PARK	IL	60462-7421	CAROLE A VALENTINO	10638 GOLF RD	ORLAND PARK	IL	60462	Yes
27-08-210-022	2708210022	CURRENT OCCUPANT	10604 GOLF RD	ORLAND PARK	IL	60462-7421	CAROLE D HILLMAN	10604 GOLF RD	ORLAND PARK	IL	60462	Yes
27-09-118-006	2709118006	CURRENT OCCUPANT	14351 RIDGE AVE	ORLAND PARK	IL	60462-1959	CATHERINE T ALBERT	14351 RIDGE AVE	ORLAND PARK	IL	60462	Yes
27-08-210-017	2708210017	CURRENT OCCUPANT	10626 GOLF RD	ORLAND PARK	IL	60462-7421	KEGHAM GIRAGOSIAN	8101 W 131ST ST	PALOS PARK	IL	60464	NO
27-09-105-020	2709105020	CURRENT OCCUPANT	14315 WOODLAND DR	ORLAND PARK	IL	60462-2452	CHARLES W SKINNER	14315 WOODLAND DR	ORLAND PARK	IL	60462	Yes
27-08-210-021	2708210021	CURRENT OCCUPANT	10608 GOLF RD	ORLAND PARK	IL	60462-7421	CHOOH N KIM	10608 GOLF RD	ORLAND PARK	IL	60462	Yes
27-08-105-012	2708105012	CURRENT OCCUPANT	11141 ALEXIS LN	ORLAND PARK	IL	60467-1911	CHRIST GEORGIU	11141 ALEXIS LN	ORLAND PARK	IL	60467	Yes
27-08-210-034	2708210034	CURRENT OCCUPANT	10512 GOLF RD	ORLAND PARK	IL	60462-7420	CHRISTIAN GRIFFITHS	10512 GOLF RD	ORLAND PARK	IL	60462	Yes
27-08-109-017			14342 FAWN VIEW CIR	ORLAND PARK	IL	60467	CHRISTOPHER F FLETCHER	14342 FAWN VIEW CIR	ORLAND PARK	IL	60467	Yes
27-09-102-013	2709102013	CURRENT OCCUPANT	14301 OAKLEY ST	ORLAND PARK	IL	60462-1943	CLARENCE A LEW	14301 OAKLEY ST	ORLAND PARK	IL	60462	Yes
27-04-415-014	2704415014	CURRENT OCCUPANT	14228 UNION ST	ORLAND PARK	IL	60462-2011	CLARENCE E CREER	14228 UNION ST	ORLAND PARK	IL	60462	Yes
27-09-213-005	2709213005	CURRENT OCCUPANT	9727 W 143RD ST	ORLAND PARK	IL	60462-2003	CLYDE B COYLE	9727 W 143RD ST	ORLAND PARK	IL	60462	Yes
27-08-210-006	2708210006	CURRENT OCCUPANT	10670 GOLF RD	ORLAND PARK	IL	60462-7421	COLLEEN A CORBIN	10670 GOLF RD	ORLAND PARK	IL	60462	Yes
27-09-113-046	2709113046	CURRENT OCCUPANT	14412 WEST AVE	ORLAND PARK	IL	60462-2447	COLLEEN M LANIGAN	14412 WEST AVE	ORLAND PARK	IL	60462	Yes
27-06-410-040	2706410040	CURRENT OCCUPANT	14229 COMPTON CT	ORLAND PARK	IL	60467-1089	CONRAD & ANN RABER	14229 COMPTON CT	ORLAND PARK	IL	60467	Yes
27-05-308-031	2705308031	CURRENT OCCUPANT	10808 142ND ST	ORLAND PARK	IL	60467	R UNDERG	10808 142ND ST	ORLAND PARK	IL	60467	Yes
27-05-309-002	2705309002	CURRENT OCCUPANT	10809 142ND ST	ORLAND PARK	IL	60467-7623	MARTIN SUCHOR	10809 142ND ST	ORLAND PARK	IL	60467	Yes
27-05-308-032	2705308032	CURRENT OCCUPANT	10816 142ND ST	ORLAND PARK	IL	60467	KURTIS CONSTRUCTION	13532 PALMOR DR	ORLAND PARK	IL	60462	NO
27-05-308-027	2705308027	CURRENT OCCUPANT	10817 DOYLE CT	ORLAND PARK	IL	60467	MICHAEL D HRYN	18101 PHEASANTLAKE DR	TINLEY PARK	IL	60487	NO
27-08-105-006	2708105006	CURRENT OCCUPANT	11120 ALEXIS LN	ORLAND PARK	IL	60467-1912	CURRENT OCCUPANT	11120 ALEXIS LN	ORLAND PARK	IL	60467	Yes
27-05-308-025	2705308025	CURRENT OCCUPANT	10833 DOYLE CT	ORLAND PARK	IL	60467	BASSAM SALMAN	12631 S MANISFIELD	ALSIP	IL	60803	NO
27-06-410-051	2706410051	CURRENT OCCUPANT	11260 ENDICOTT CT #5C1	ORLAND PARK	IL	60467-1020	CYNTHIA SAJID	11260 ENDICOTT CT #5C1	ORLAND PARK	IL	60462	Yes
27-08-210-024	2708210024	CURRENT OCCUPANT	10554 GOLF RD	ORLAND PARK	IL	60462-7420	D SOLLACHICH J SHAKE	10554 GOLF RD	ORLAND PARK	IL	60462	Yes
27-05-308-024	2705308024	CURRENT OCCUPANT	10841 DOYLE CT	ORLAND PARK	IL	60467	STEVE & PATRIC TARGOSZ	10841 DOYLE CT	ORLAND PARK	IL	60467	Yes
27-05-308-036	2705308036	CURRENT OCCUPANT	10848 142ND ST	ORLAND PARK	IL	60467	FRANK & PAMELA FOX	10848 142ND ST	ORLAND PARK	IL	60467	Yes
27-05-309-018	2705309018	CURRENT OCCUPANT	14219 ASHFORD CT	ORLAND PARK	IL	60467-1997	DANIEL MATEJA	14219 ASHFORD CT	ORLAND PARK	IL	60467	Yes
27-08-105-023			11180 DEER HAVEN LN	ORLAND PARK	IL	60467	DANIEL P CURRY	11180 DEER HAVEN LN	ORLAND PARK	IL	60467	Yes
27-05-308-023	2705308023	CURRENT OCCUPANT	10849 DOYLE CT	ORLAND PARK	IL	60467	PERSIMMON MEADOWS LLC	7512 S COUNTY LINE RD	BURR RIDGE	IL	60527	NO
27-05-311-002	2705311002	CURRENT OCCUPANT	11005 ARBOR RIDGE DR	ORLAND PARK	IL	60467-0000	DAVID AIRO	11005 ARBOR RIDGE DR	ORLAND PARK	IL	60462	Yes
27-08-109-011			11021 BUCK HORN LN	ORLAND PARK	IL	60467-0467	DAVID J MASINO	11021 BUCK HORN LN	ORLAND PARK	IL	60467	Yes
27-08-210-026	2708210026	CURRENT OCCUPANT	10546 GOLF RD	ORLAND PARK	IL	60462-7420	DENNIS OEDZES	10546 GOLF RD	ORLAND PARK	IL	60462	Yes
27-08-100-002	2708100002	CURRENT OCCUPANT	11013 143RD ST	ORLAND PARK	IL	60467-1919	DE DEVELOPMENT INC	9485 BORMET DR	MOKENA	IL	60448	NO
27-08-111-002			11027 FAWN VIEW CIR	ORLAND PARK	IL	60467	CURRENT OCCUPANT	11027 FAWN VIEW CIR	ORLAND PARK	IL	60467	Yes
27-08-109-020			11030 FAWN VIEW CIR	ORLAND PARK	IL	60467	NGE RE TAY	PO BOX 1354	CHICAGO	IL	60690	Yes
27-05-404-008	2705404008	CURRENT OCCUPANT	8 OLD TAMARACK LN	ORLAND PARK	IL	60462-1977	DON TOMASZEWSKI	8 OLD TAMARACK LN	ORLAND PARK	IL	60462	Yes
27-08-210-007	2708210007	CURRENT OCCUPANT	10666 GOLF RD	ORLAND PARK	IL	60462-7421	DONALD DULCIS	10666 GOLF RD	ORLAND PARK	IL	60462	Yes
27-05-315-002	2705315002	CURRENT OCCUPANT	10812 DOYLE CT	ORLAND PARK	IL	60467-0000	DONALD POWELL	10812 DOYLE CT	ORLAND PARK	IL	60467	Yes
27-06-412-012	2706412012	CURRENT OCCUPANT	14140 HAVERHILL LN	ORLAND PARK	IL	60467-8631	DORIS M KUNZ	14140 HAVERHILL LN	ORLAND PARK	IL	60467	Yes
27-09-113-047	2709113047	CURRENT OCCUPANT	14436 WEST AVE	ORLAND PARK	IL	60462-2447	DOROTHY SORIA	14436 WEST AVE	ORLAND PARK	IL	60462	Yes
27-08-110-019			11031 DEER HAVEN LN	ORLAND PARK	IL	60467	ANKITKUMAR T SHAH	11031 DEER HAVEN LN	ORLAND PARK	IL	60467	Yes
27-08-210-015	2708210015	CURRENT OCCUPANT	10634 GOLF RD	ORLAND PARK	IL	60462-7421	DR JEFFERY KARR	10634 GOLF RD	ORLAND PARK	IL	60462	Yes
27-08-109-019			11038 FAWN VIEW CIR	ORLAND PARK	IL	60467	CARMEL WALLACE	3000 MARCUS AVE 1WS	LAKE SUCCESSES	NY	11042	NO
27-09-105-016	2709105016	CURRENT OCCUPANT	14356 HIGHLAND AVE	ORLAND PARK	IL	60462-2434	EARL S ROETTERGER	14356 HIGHLAND AVE	ORLAND PARK	IL	60462	Yes
27-05-302-007	2705302007	CURRENT OCCUPANT	11100 W 143RD ST	ORLAND PARK	IL	60467-1922	BUILDERS BANK	77 W WACKER STE 31	CHICAGO	IL	60601	NO
27-09-203-002	2709203002	CURRENT OCCUPANT	9979 W 143RD PL	ORLAND PARK	IL	60462-2024	EDWARD C OLSON	9979 W 143RD PL	ORLAND PARK	IL	60462	Yes
27-08-210-004	2708210004	CURRENT OCCUPANT	10678 GOLF RD	ORLAND PARK	IL	60462-7421	EDWARD J GEDRAITIS	10678 GOLF RD	ORLAND PARK	IL	60462	Yes
27-08-210-019	2708210019	CURRENT OCCUPANT	10616 GOLF RD	ORLAND PARK	IL	60462-7421	EDWARD KROEGER	10616 GOLF RD	ORLAND PARK	IL	60462	Yes
27-09-200-021	2709200021	CURRENT OCCUPANT	9944 W 143RD PL	ORLAND PARK	IL	60462-2491	EDWARD PARSONS	9944 W 143RD PL	ORLAND PARK	IL	60462	Yes
27-08-105-011	2708105011	CURRENT OCCUPANT	11125 ALEXIS LN	ORLAND PARK	IL	60467-1911	JAMES GEORGIU	8800 W 159TH ST	ORLAND PARK	IL	60462	NO
27-08-106-001	2708106001	CURRENT OCCUPANT	11140 ROYAL OAKS LN	ORLAND PARK	IL	60467	WREN RUCINSKI	11140 ROYAL OAKS LN	ORLAND PARK	IL	60467	Yes
27-06-410-043	2706410043	CURRENT OCCUPANT	11252 MELROSE CT	ORLAND PARK	IL	60467-1096	ELIZABETH A GEARON	11252 MELROSE CT	ORLAND PARK	IL	60467	Yes
27-06-410-063	2706410063	CURRENT OCCUPANT	11255 MELROSE CT	ORLAND PARK	IL	60467-1096	ELIZABETH HINDENBURG	11255 MELROSE CT	ORLAND PARK	IL	60467	Yes
27-09-118-012	2709118012	CURRENT OCCUPANT	14352 OAKLEY ST	ORLAND PARK	IL	60462-1944	ELIZABETH J NAGEL	14352 OAKLEY ST	ORLAND PARK	IL	60462	Yes
27-09-113-025	2709113025	CURRENT OCCUPANT	14402 WEST AVE	ORLAND PARK	IL	60462-2447	ELLEN TAYLOR SINK	14402 WEST AVE	ORLAND PARK	IL	60462	Yes
27-09-118-008	2709118008	CURRENT OCCUPANT	14304 OAKLEY ST	ORLAND PARK	IL	604						



PIN Rev	PIN	CURRENT RESIDENT	SITE ADDRESS	SITE CITY	SITE STATE	SITE ZIP	TAXPAYER NAME	TAXPAYER ADDRESS	TAXPAYER CITY	TAX PAYER S	TAXPAYER EXEMPT C	Owner Occupied
27-05-311-003	2705311003	CURRENT OCCUPANT	11011 ARBOR RIDGE DR	ORLAND PARK	IL	60467-8619	J & C NETZEL	11011 ARBOR RIDGE DR	ORLAND PARK	IL	60467	Yes
27-08-109-013		CURRENT OCCUPANT	14420 FAWN VIEW CIR	ORLAND PARK	IL	60467	J & I CURTIN	14420 FAWN VIEW CIR	ORLAND PARK	IL	60467	Yes
27-08-111-004		CURRENT OCCUPANT	11030 BUCK HORN LN	ORLAND PARK	IL	60467	J AHMED & R KHAN	11030 BUCK HORN LN	ORLAND PARK	IL	60467	Yes
27-05-311-004	2705311004	CURRENT OCCUPANT	11017 ARBOR RIDGE DR	ORLAND PARK	IL	60467	JACK GAWRON	11017 ARBOR RIDGE DR	ORLAND PARK	IL	60467	Yes
27-09-203-025	2709203025	CURRENT OCCUPANT	9864 W 144TH ST	ORLAND PARK	IL	60462-2497	JAMES & SHEILA PANOZZO	9864 W 144TH ST	ORLAND PARK	IL	60462	Yes
27-05-404-009	2705404009	CURRENT OCCUPANT	9 OLD TAMARACK LN	ORLAND PARK	IL	60462-1977	JAMES & BRONNIE BARTUSKA	9 OLD TAMARACK LN	ORLAND PARK	IL	60462	Yes
27-09-102-011	2709102011	CURRENT OCCUPANT	10270 W 144TH ST	ORLAND PARK	IL	60462-1979	JAMES A ROGERS	10270 W 144TH ST	ORLAND PARK	IL	60462	Yes
27-07-203-021	2707203021		11501 143RD ST	ORLAND PARK	IL	60467-0000	CACTUS DEVELOPERS	10926 ELEANOR LANE	ORLAND PARK	IL	60467	NO
27-05-404-012	2705404012	CURRENT OCCUPANT	12 OLD TAMARACK LN	ORLAND PARK	IL	60462-1977	TOM & THERESA KINSLOE	12 OLD TAMARACK LN	ORLAND PARK	IL	60462	Yes
27-05-308-022	2705308022	CURRENT OCCUPANT	14117 PERSIMMON DR	ORLAND PARK	IL	60467-0000	LOU DEPASQUALE	14117 PERSIMMON DR	ORLAND PARK	IL	60467	Yes
27-05-402-006	2705402006	CURRENT OCCUPANT	14137 108TH AVE	ORLAND PARK	IL	60467-1903				IL	60467	NO
27-09-102-018	2709102018	CURRENT OCCUPANT	14355 OAKLEY ST	ORLAND PARK	IL	60462-1943	JAMES KEENAN	14355 OAKLEY ST	ORLAND PARK	IL	60462	Yes
27-09-203-027	2709203027	CURRENT OCCUPANT	9970 W 144TH ST	ORLAND PARK	IL	60462	JAMES KELLEHER	9970 W 144TH ST	ORLAND PARK	IL	60462	NO
27-06-412-016	2706412016	CURRENT OCCUPANT	14146 HAVENHILL LN	ORLAND PARK	IL	60467-8631	CREEKSIDE OF SP CRK	14146 HAVENHILL LN	ORLAND PARK	IL	60462	NO
27-06-412-016	2706412024	CURRENT OCCUPANT	14148 NORWICH LN	ORLAND PARK	IL	60467-8629	CREEKSIDE SP CK THA	14032 S KOSTNER STE M	CRESTWOOD	IL	60445	NO
27-06-410-036	2706410036	CURRENT OCCUPANT	14221 COMPTON CT	ORLAND PARK	IL	60467-1089	JAMES REINDL	14221 COMPTON CT	ORLAND PARK	IL	60467	Yes
27-06-410-030	2706410030	CURRENT OCCUPANT	11237 ENDICOTT CT	ORLAND PARK	IL	60467-1020	JAMES S STRZECZOWSKI	11237 ENDICOTT CT	ORLAND PARK	IL	60467	Yes
27-09-201-012	2709201012	CURRENT OCCUPANT	9924 143RD PL	ORLAND PARK	IL	60462-2404	JAMES SANDERSON	9924 143RD PL	ORLAND PARK	IL	60462	Yes
27-05-315-007	2705315007	CURRENT OCCUPANT	10804 DOYLE CT	ORLAND PARK	IL	60467-0000	JAMES WILKINS	10804 DOYLE CT	ORLAND PARK	IL	60467	Yes
27-06-410-068	2706410068	CURRENT OCCUPANT	11250 MELROSE CT	ORLAND PARK	IL	60467-1096	JANICE PIERHAL	11250 MELROSE CT	ORLAND PARK	IL	60467	Yes
27-06-412-023	2706412023	CURRENT OCCUPANT	14149 NORWICH LN	ORLAND PARK	IL	60467-8625	HOWARD A & GAIL WRIGHT	14149 NORWICH LN	ORLAND PARK	IL	60467	Yes
27-06-412-021	2706412021	CURRENT OCCUPANT	14145 NORWICH LN	ORLAND PARK	IL	60467-8625	HOWARD D VERBER	14145 NORWICH LN	ORLAND PARK	IL	60467	Yes
27-08-109-016			14350 FAWN VIEW CIR	ORLAND PARK	IL	60467	JESUS BARRAJAS	14350 FAWN VIEW CIR	ORLAND PARK	IL	60467	Yes
27-06-410-078	2706410078	CURRENT OCCUPANT	11230 MELROSE CT	ORLAND PARK	IL	60467	JIM ARZBACHER	11230 MELROSE CT	ORLAND PARK	IL	60467	Yes
27-06-410-032	2706410032	CURRENT OCCUPANT	11264 ENDICOTT CT	ORLAND PARK	IL	60467-1020	JOANN CEBUHAN	11264 ENDICOTT CT	ORLAND PARK	IL	60467	Yes
27-05-309-005	2705309005	CURRENT OCCUPANT	14200 ASHFORD CT	ORLAND PARK	IL	60467-1997	MATTHEW RICKERT	14200 ASHFORD CT	ORLAND PARK	IL	60467	Yes
27-06-410-066	2706410066	CURRENT OCCUPANT	11254 MELROSE CT	ORLAND PARK	IL	60467-1096	JOHN & ANITA TRIER	11254 MELROSE CT	ORLAND PARK	IL	60467	Yes
27-06-412-019	2706412019	CURRENT OCCUPANT	14141 NORWICH LN	ORLAND PARK	IL	60467-8625	JOHN C QUINN	14141 NORWICH LN	ORLAND PARK	IL	60467	Yes
27-08-210-038	2708210038	CURRENT OCCUPANT	10650 GOLF RD	ORLAND PARK	IL	60462-7421	JOHN F NICHOLS	10650 GOLF RD	ORLAND PARK	IL	60462	Yes
27-06-410-059	2706410059	CURRENT OCCUPANT	11233 MELROSE CT	ORLAND PARK	IL	60467-1096	JOHN HOWARD	11233 MELROSE CT	ORLAND PARK	IL	60467	Yes
27-08-200-022	2708200022	CURRENT OCCUPANT	14331 CRYSTAL TREE DR	ORLAND PARK	IL	60462-7453	JOHN J ECKENSTEIN	14331 CRYSTAL TREE DR	ORLAND PARK	IL	60462	Yes
27-09-118-009	2709118009	CURRENT OCCUPANT	14322 OAKLEY ST	ORLAND PARK	IL	60462-1944	JOHN KIMBERLEY MALLON	14322 OAKLEY ST	ORLAND PARK	IL	60462	Yes
27-09-103-005	2709103005	CURRENT OCCUPANT	14325 RANEYS LN	ORLAND PARK	IL	60462-1951	JOHN L HEINZ	14325 RANEYS LN	ORLAND PARK	IL	60462	Yes
27-09-102-022	2709102022	CURRENT OCCUPANT	14320 RANEYS LN	ORLAND PARK	IL	60462-1952	JOHN LANDERS	14320 RANEYS LN	ORLAND PARK	IL	60462	Yes
27-05-302-002	2705302002	CURRENT OCCUPANT	14201 WOLF RD	ORLAND PARK	IL	60467-1977	LENA DI GIORE	172 E QUINCY	RIVERSIDE	IL	60546	NO
27-09-200-022	2709200022	CURRENT OCCUPANT	9940 W 143RD PL	ORLAND PARK	IL	60462-2491	JOHN RIFFICE	9940 W 143RD PL	ORLAND PARK	IL	60462	Yes
27-05-309-007	2705309007	CURRENT OCCUPANT	14212 ASHFORD CT	ORLAND PARK	IL	60467-1997	MARY A KARSTENS	14212 ASHFORD CT	ORLAND PARK	IL	60467	Yes
27-09-118-005	2709118005	CURRENT OCCUPANT	14345 RIDGE AVE	ORLAND PARK	IL	60462-1959	JOHN TABLERSON	14345 RIDGE AVE	ORLAND PARK	IL	60462	Yes
27-06-412-013	2706412013	CURRENT OCCUPANT	14142 HAVENHILL LN	ORLAND PARK	IL	60467-8631	JOHN WILSON	14142 HAVENHILL LN	ORLAND PARK	IL	60467	Yes
27-08-110-017			11021 DEER HAVEN LN	ORLAND PARK	IL	60467	JOSE TAMAYO	11021 DEER HAVEN LN	ORLAND PARK	IL	60467	Yes
27-05-315-004	2705315004	CURRENT OCCUPANT	10828 DOYLE CT	ORLAND PARK	IL	60467-0000	JOSEPH A LONGO	10828 DOYLE CT	ORLAND PARK	IL	60467	Yes
27-04-416-004	2704416004	CURRENT OCCUPANT	14217 S UNION AV	ORLAND PARK	IL	60462-2010	MILDRED C COOPER	14217 S UNION AV	ORLAND PARK	IL	60462	Yes
27-06-410-035	2706410035	CURRENT OCCUPANT	14233 COMPTON CT	ORLAND PARK	IL	60467-1089	JOSEPHINE VAZZANO	14233 COMPTON CT	ORLAND PARK	IL	60467	Yes
27-09-118-002	2709118002	CURRENT OCCUPANT	14311 RIDGE AVE	ORLAND PARK	IL	60462-1959	JOSEPH & RITA BARCELONA	14311 RIDGE AVE	ORLAND PARK	IL	60462	Yes
27-04-415-013	2704415013	CURRENT OCCUPANT	14228 UNION AV	ORLAND PARK	IL	60462-2011	JOSEPH & DANIELA STECK	13238 JEAN CREEK DRIVE	ORLAND PARK	IL	60462	NO
27-05-309-006	2705309006	CURRENT OCCUPANT	14206 ASHFORD CT	ORLAND PARK	IL	60467-1997	K & A FEENEY	14206 ASHFORD CT	ORLAND PARK	IL	60467	Yes
27-09-104-008	2709104008	CURRENT OCCUPANT	14245 WOODLAND AV	ORLAND PARK	IL	60462-2453	KARL SULLIVAN	14245 WOODLAND AV	ORLAND PARK	IL	60462	Yes
27-05-309-016	2705309016	CURRENT OCCUPANT	14243 S ASHFORD CT	ORLAND PARK	IL	60467-1997	KIL DONG O	14243 S ASHFORD CT	ORLAND PARK	IL	60467	Yes
27-05-302-016	2705302016	CURRENT OCCUPANT	14249 WOLF RD	ORLAND PARK	IL	60467-1977	ANGELINA T ORR TRUSTEE	9610 S 52ND AV	OAKLAWN	IL	60453	NO
27-05-309-014	2705309014	CURRENT OCCUPANT	14258 ASHFORD CT	TINLEY PARK	IL	60477-0000	FREDRICK PATZ	14258 ASHFORD CT	ORLAND PARK	IL	60467	Yes
27-09-100-002	2709100002	CURRENT OCCUPANT	14300 RIDGE AV	ORLAND PARK	IL	60462-1960	ERAN PANNER	14300 RIDGE AV	ORLAND PARK	IL	60462	Yes
27-05-308-034	2705308034	CURRENT OCCUPANT	10832 142ND ST	ORLAND PARK	IL	60467	KEVIN LEARY	10832 142ND ST	ORLAND PARK	IL	60467	Yes
27-07-201-005	2707201005	CURRENT OCCUPANT	14300 WOLF RD	ORLAND PARK	IL	60467-1935	BK COUNTRYSIDE T87 321	6734 JOLIET RD	COUNTRYSIDE	IL	60525	NO
27-09-200-018	2709200018	CURRENT OCCUPANT	14310 BROOK ST	ORLAND PARK	IL	60462-2480	JACOB MIKUZIS	14310 BROOK ST	ORLAND PARK	IL	60462-248	Yes
27-07-201-012	2707201012						IF PROPERTY TAX	PO BOX 4900 DEPT 123	SCOTTSDALE	AZ	85261	
27-06-410-075	2706410075						LAMBERT SCHMID	11236 MELROSE CT	ORLAND PARK	IL	60467	Yes
27-09-104-014	2709104014	CURRENT OCCUPANT	14311 GREENLAND AVE	ORLAND PARK	IL	60462-2427	JAMES GALLAGHER	14311 GREENLAND AVE	ORLAND PARK	IL	60462	Yes
27-09-201-022	2709201022	CURRENT OCCUPANT	14314 UNION AV	ORLAND PARK	IL	60462-2499	RAYMOND D JANULIS	7908 DEERWOOD DR	PALOS PARK	IL	60464	NO
27-09-208-005	2709208005	CURRENT OCCUPANT	14315 BEACON ST	ORLAND PARK	IL	60462-2421	GEORGE MITCHELL	14309 BEACON AV	ORLAND PARK	IL	60462	NO
27-08-210-039	2708210039	CURRENT OCCUPANT	10646 GOLF RD	ORLAND PARK	IL	60462-7421	LAWRENCE A DORIA	10646 GOLF RD	ORLAND PARK	IL	60462	Yes
27-09-102-014	2709102014	CURRENT OCCUPANT	14315 OAKLEY ST	ORLAND PARK	IL	60462-1943	DAV&VERONICA PETERSON	14315 OAKLEY ST	ORLAND PARK	IL	60462	Yes
27-05-302-001	2705302001	CURRENT OCCUPANT	14100 WOLF RD	ORLAND PARK	IL	60467-1931	LOU DELAIR	14100 WOLF RD	ORLAND PARK	IL	60467	Yes
27-06-410-048	2706410048	CURRENT OCCUPANT	11243 MELROSE CT	ORLAND PARK	IL	60467-1096	LEROY & DENISE SPADONI	11243 MELROSE CT	ORLAND PARK	IL	60467	Yes
27-09-200-015	2709200015	CURRENT OCCUPANT	14315 WEST AVE	ORLAND PARK	IL	60462-2455	JAMES B ROGERS	9 BULLION DR	ORLAND PARK	IL	60462	Yes
27-09-105-017	2709105017	CURRENT OCCUPANT	14316 HIGHLAND AV	ORLAND PARK	IL	60462-2434	ROBERT H FISHER	14316 HIGHLAND AV	ORLAND PARK	IL	60462	NO
27-09-204-001	2709204001	CURRENT OCCUPANT	9933 W 143RD PL	ORLAND PARK	IL	60462-2007	LOIS M SCHULTZ	9933 W 143RD PL	ORLAND PARK	IL	60462	Yes
27-09-104-021	2709104021	CURRENT OCCUPANT	14316 WOODLAND AVE	ORLAND PARK	IL	60462-2453	MARION FLONDOR	14316 WOODLAND AVE	ORLAND PARK	IL	60462	Yes
27-08-111-001	2708111001		11019 FAWN VIEW CIR	ORLAND PARK	IL	60467	M & J WOJACK	11019 FAWN VIEW CIR	ORLAND PARK	IL	60467	Yes
27-09-105-018	2709105018	CURRENT OCCUPANT	14318 HIGHLAND AV	ORLAND PARK	IL	60462-2434	L GORDON & T B NERREN	14318 HIGHLAND AV	ORLAND PARK	IL	60462	Yes
27-09-102-015	2709102015	CURRENT OCCUPANT	14321 OAKLEY AV	ORLAND PARK	IL	60462-1943	EVAN C KALLBERG	14321 OAKLEY AV	ORLAND PARK	IL	60462	Yes
27-06-410-037	2706410037	CURRENT OCCUPANT	14223 COMPTON CT	ORLAND PARK	IL	60467-1089	MARC&MARI SOKOLOWSKI	14223 COMPTON CT	ORLAND PARK	IL	60467	Yes
27-06-410-047	2706410047	CURRENT OCCUPANT	11241 MELROSE CT	ORLAND PARK	IL	60467-1096	MARGARET A BURKE	11241 MELROSE CT	ORLAND PARK	IL	60467	Yes
27-09-113-049	2709113049	CURRENT OCCUPANT	14428 WEST AVE	ORLAND PARK	IL	60462-2147	MARGARET M HICKEY	14428 WEST AVE	ORLAND PARK	IL	60462	Yes
27-08-105-017	2708105017	CURRENT OCCUPANT	14321 WOLF RD	ORLAND PARK	IL	60467-1934	WORTH BK & TR #4963	6825 W 111TH ST	WORTH	IL	60482	NO
27-09-118-003	2709118003	CURRENT OCCUPANT	14323 RIDGE AVE	ORLAND PARK	IL	60462-1959	DIANE SLOAT	PO BOX 601	ORLAND PARK	IL	60462	NO
27-08-105-021	2708105021	CURRENT OCCUPANT	11100 DEER HAVEN LN	ORLAND PARK	IL	60467	MARK GROVER	11100 DEER HAVEN LN	ORLAND PARK	IL	60467	Yes
27-09-204-009	2709204009	CURRENT OCCUPANT	9930 W 144TH ST	ORLAND PARK	IL	60462-2007	MARK HANLY	9930 W 144TH ST	ORLAND PARK	IL	60462	Yes
27-09-100-004	2709100004	CURRENT OCCUPANT	14330 RIDGE AV	ORLAND PARK	IL	60462-1960	MARK HODMAN	14330 RIDGE AV	ORLAND PARK	IL	60462	Yes
27-09-103-008	2709103008	CURRENT OCCUPANT	14355 RANEYS LN	ORLAND PARK	IL	60462-1951	MARK T ANDERSEN	14355 RANEYS LN	ORLAND PARK	IL	60462	Yes
27-08-109-015			14404 FAWN VIEW CIR	ORLAND PARK	IL	60467	MARK WOLNY	14404 FAWN VIEW CIR	ORLAND PARK	IL	60467	Yes
27-09-103-009	2709103009	CURRENT OCCUPANT	14324 GREENLAND AV	ORLAND PARK	IL	60462-2428	M BROWNE	14324 GREENLAND AV	ORLAND PARK	IL	60462	Yes
27-08-110-010			14341 DEER HAVEN LN	ORLAND PARK	IL	60467	MARQUETTE BANK TRUST	14341 DEER HAVEN LN	ORLAND PARK	IL	60467	Yes
27-09-103-016	2709103016	CURRENT OCCUPANT	14332 GREENLAND AV	ORLAND PARK	IL	60462-2428	LARRY MORAN	14332 GREENLAND AV	ORLAND PARK	IL	60462	Yes
27-09-105-013	2709105013	CURRENT OCCUPANT	14332 HIGHLAND AV	ORLAND PARK	IL	60462-2434	MARLENE E MC COY	14332 HIGHLAND AV	ORLAND PARK	IL	60462	Yes
27-06-410-031	2706410031	CURRENT OCCUPANT	11239 ENDICOTT CT	ORLAND PARK	IL	60467-1020	MARY EILEEN SMITH	11239 ENDICOTT CT	ORLAND PARK	IL	60467	Yes
27-09-104-016												



PIN Rev	PIN	CURRENT RESIDENT	SITE ADDRESS	SITE CITY	SITE STATE	SITE ZIP	TAXPAYER NAME	TAXPAYER ADDRESS	TAXPAYER CITY	TAX PAYER S	TAXPAYER EXEMPT C	Owner Occupied
27-09-100-007	2709100007	CURRENT OCCUPANT	14352 RIDGE AV	ORLAND PARK	IL	60462-1960	GRACE O CARLSON	14352 RIDGE AV	ORLAND PARK	IL	60462	Yes
27-09-105-015	2709105015	CURRENT OCCUPANT	14346 HIGHLAND AVE	ORLAND PARK	IL	60462-2434	RAYMOND W HEILMANN	14346 HIGHLAND AVE	ORLAND PARK	IL	60462	Yes
27-08-111-005			11022 BUCK HORN LN	ORLAND PARK	IL		60467 REEM & ELAYIAN & HAMZA A	11022 BUCK HORN LN	ORLAND PARK	IL	60467	Yes
27-05-309-009	2705309009	CURRENT OCCUPANT	14226 ASHFORD CT	ORLAND PARK	IL	60467-1997	RICHARD & D FLOWERS	14226 ASHFORD CT	ORLAND PARK	IL	60467	Yes
27-08-210-027	2708210027	CURRENT OCCUPANT	10542 GOLF RD	ORLAND PARK	IL	60462-7420	RICHARD F PRIENDERGAST	10542 GOLF RD	ORLAND PARK	IL	60462	Yes
27-06-410-058	2706410058	CURRENT OCCUPANT	11231 MELROSE CT #1282	ORLAND PARK	IL	60467-1096	RICHARD FORD	11231 MELROSE CT #1282	ORLAND PARK	IL	60467	Yes
27-09-203-004	2709203004	CURRENT OCCUPANT	9971 W 143RD PL	ORLAND PARK	IL	60462-2024	RICHARD KOSTENSKI	9971 W 143RD PL	ORLAND PARK	IL	60462	Yes
27-06-412-015	2706412015	CURRENT OCCUPANT	14146 HAVERHILL LN	ORLAND PARK	IL	60467-8631	RICHARD L HOFMEISTER	14146 HAVERHILL LN	ORLAND PARK	IL	60467	Yes
27-09-102-009	2709102009	CURRENT OCCUPANT	14354 RANEYS LN	ORLAND PARK	IL	60462-1952	JOSEPH QUINN	10230 W 144TH PL	ORLAND PARK	IL	60462	NO
27-06-410-071	2706410071	CURRENT OCCUPANT	11244 MELROSE CT	ORLAND PARK	IL	60467-1096	ROBERT & JUDITH DOBEK	11244 MELROSE CT	ORLAND PARK	IL	60467	Yes
27-09-201-024	2709201024	CURRENT OCCUPANT	9932 143RD PL	ORLAND PARK	IL	60462-2404	ROBERT ANDREWS	9932 143RD PL	ORLAND PARK	IL	60462	Yes
27-06-410-049	2706410049	CURRENT OCCUPANT	11245 MELROSE CT	ORLAND PARK	IL	60467-1096	ROBERT BLUMER	11245 MELROSE CT	ORLAND PARK	IL	60467	Yes
27-06-410-082	2706410082	CURRENT OCCUPANT	11225 MELROSE CT	ORLAND PARK	IL	60467	ROBERT CURTIS	11225 MELROSE CT	ORLAND PARK	IL	60467	Yes
27-09-201-016	2709201016	CURRENT OCCUPANT	14310 S UNION ST	ORLAND PARK	IL	60462-2494	ROBERT DAVIDSON	14310 S UNION ST	ORLAND PARK	IL	60462	Yes
27-09-105-011	2709105011	CURRENT OCCUPANT	14355 WOODLAND AVE	ORLAND PARK	IL	60462-2452	JAMES R DRAKE	14355 WOODLAND AVE	ORLAND PARK	IL	60462	Yes
27-08-100-040	2708100040	CURRENT OCCUPANT	14401 WOLF RD	ORLAND PARK	IL	60467-1936	EDWARD B JAROS	14401 WOLF RD	ORLAND PARK	IL	60467	Yes
27-09-102-003	2709102003	CURRENT OCCUPANT	14436 RANEYS LN	ORLAND PARK	IL	60462-1954	EDWARD REYNOLDS	14336 RANEYS LN	ORLAND PARK	IL	60462	NO
27-08-100-046	2708100046	CURRENT OCCUPANT	14445 WOLF RD	ORLAND PARK	IL	60467-1936	EDWARD E MARES	14445 WOLF RD	ORLAND PARK	IL	60467	Yes
27-09-203-021	2709203021	CURRENT OCCUPANT	9952 W 144TH ST	ORLAND PARK	IL	60462-2458	ROBERT WILSON	9952 W 144TH ST	ORLAND PARK	IL	60462	Yes
27-08-210-002	2708210002	CURRENT OCCUPANT	10686 GOLF RD	ORLAND PARK	IL	60462-7421	RONALD E PETERSON	10686 GOLF RD	ORLAND PARK	IL	60462	Yes
27-08-210-025	2708210025	CURRENT OCCUPANT	10550 GOLF RD	ORLAND PARK	IL	60462-7420	RONALD HELENE HARVEY	10550 GOLF RD	ORLAND PARK	IL	60462	Yes
27-09-200-020	2709200020	CURRENT OCCUPANT	9948 W 143RD PL	ORLAND PARK	IL	60462-2491	RONALD PARADAY	9948 W 143RD PL	ORLAND PARK	IL	60462	Yes
27-05-309-008	2705309008	CURRENT OCCUPANT	14218 ASHFORD CT	ORLAND PARK	IL	60467-1997	ROSS A RIDDER	14218 ASHFORD CT	ORLAND PARK	IL	60467	Yes
27-08-105-018			11081 DEER HAVEN LN	ORLAND PARK	IL		60467 RUBEN GARCIA	11081 DEER HAVEN LN	ORLAND PARK	IL	60467	Yes
27-06-412-022	2706412022	CURRENT OCCUPANT	14147 NORWICH LN	ORLAND PARK	IL	60467-8625	RUSSELL E SCHMIDT	14147 NORWICH LN	ORLAND PARK	IL	60467	Yes
27-08-100-025	2708100025		14451 WOLF RD	ORLAND PARK	IL	60467-0000	GALLAGHER & HENRY	6280 JOUET RD	COUNTYRYSIDE	IL	60525	NO
27-05-404-015	2705404015	CURRENT OCCUPANT	15 OLD TAMARACK LN	ORLAND PARK	IL	60462-1977	NATION WIDE REAL EST	15 OLD TAMARACK LN	ORLAND PARK	IL	60462	Yes
27-08-109-018			14334 FAWN VIEW CIR	ORLAND PARK	IL		60467 SHADI E HAMDAN	14334 FAWN VIEW CIR	ORLAND PARK	IL	60467	Yes
27-08-210-036	2708210036	CURRENT OCCUPANT	10508 GOLF RD	ORLAND PARK	IL	60462-7420	STANLEY D PRICE	10508 GOLF RD	ORLAND PARK	IL	60462	Yes
27-09-202-002	2709202002	CURRENT OCCUPANT	14417 DEER HAVEN LN	ORLAND PARK	IL	60462-4827	DANIEL EFFTIMOFF	8856 S ARCHER	WILLOW SPRINGS	IL	60480	NO
27-08-110-014			14321 CRYSTAL TREE DR	ORLAND PARK	IL		60467 SULEIMAN M ABUEID	14417 DEER HAVEN LN	ORLAND PARK	IL	60467	Yes
27-08-200-021	2708200021	CURRENT OCCUPANT	11100 DEER HAVEN LN	ORLAND PARK	IL	60462-7453	SURYA GOR	14321 CRYSTAL TREE DR	ORLAND PARK	IL	60462	Yes
27-08-105-022			11100 DEER HAVEN LN	ORLAND PARK	IL		60467 TASHIRA YASMEEN	11100 DEER HAVEN LN	ORLAND PARK	IL	60467	Yes
27-05-404-002	2705404002	CURRENT OCCUPANT	2 OLD TAMARACK LN	ORLAND PARK	IL	60462-1977	HASAN SAID	9200 S THOMAS	BRIDGEVIEW	IL	60455	NO
27-08-210-023	2708210023	CURRENT OCCUPANT	10600 GOLF RD	ORLAND PARK	IL	60462-7421	THERESE MARK	10600 GOLF RD	ORLAND PARK	IL	60462	Yes
27-05-404-003	2705404003	CURRENT OCCUPANT	3 OLD TAMARACK LN	ORLAND PARK	IL	60462-1977	CHARL LEW	POBOX 2356 3OLD TAMERA	ORLAND PARK	IL	60462	NO
27-09-213-045	2709213045	CURRENT OCCUPANT	9671 143RD ST	ORLAND PARK	IL	60462-2025	ORLAND ASSOCIATES	14300 S RAVINIA AVE	ORLAND PARK	IL	60462	NO
27-06-410-045	2706410045	CURRENT OCCUPANT	11266 MELROSE CT	ORLAND PARK	IL	60467-1096	THOMAS & JUDITH DOLAN	11266 MELROSE CT	ORLAND PARK	IL	60467	Yes
27-09-213-004	2709213004	CURRENT OCCUPANT	9755 143RD ST	ORLAND PARK	IL	60462-2003	JOHN T WHITE	9755 143RD ST	ORLAND PARK	IL	60462	Yes
27-05-309-004	2705309004	CURRENT OCCUPANT	14201 ASHFORD CT	ORLAND PARK	IL	60467-1997	THOMAS F BOLAND	14201 ASHFORD CT	ORLAND PARK	IL	60467	Yes
27-06-410-041	2706410041	CURRENT OCCUPANT	11258 MELROSE CT	ORLAND PARK	IL	60467-1096	THOMAS J COARI	11258 MELROSE CT	ORLAND PARK	IL	60467	Yes
27-06-410-027	2706410027	CURRENT OCCUPANT	11231 ENDICOTT CT	ORLAND PARK	IL	60467-1020	THOMAS MCDONNELL	11231 ENDICOTT CT	ORLAND PARK	IL	60467	Yes
27-05-404-013	2705404013	CURRENT OCCUPANT	13 OLD TAMARACK LN	ORLAND PARK	IL	60462-1977	THOMAS YONKER	13 OLD TAMARACK LN	ORLAND PARK	IL	60462	Yes
27-09-213-003	2709213003	CURRENT OCCUPANT	9765 143RD ST	ORLAND PARK	IL	60462-2003	T & T PARTNERSHIP	9765 143RD ST	ORLAND PARK	IL	60462	Yes
27-05-315-006	2705315006	CURRENT OCCUPANT	10808 W DOYLE CT	ORLAND PARK	IL	60462-0000	FIMOTHY MCMAHON	10808 W DOYLE CT	ORLAND PARK	IL	60467	Yes
27-09-213-001	2709213001	CURRENT OCCUPANT	9775 143RD ST	ORLAND PARK	IL	60462-2003	CHARLES & BETTY MATUS	7055 W 177TH PL	TINLEY PARK	IL	60477	NO
27-05-306-030	2705306030	CURRENT OCCUPANT	10800 142ND ST	ORLAND PARK	IL	60467	JOVAN IJEVTOVIC	10800 142ND ST	ORLAND PARK	IL	60467	Yes
27-09-213-002	2709213002	CURRENT OCCUPANT	9775 143RD ST	ORLAND PARK	IL	60462-2003	FLOYD COOPER	7949 PALM CT	ORLAND PARK	IL	60462	Yes
27-09-201-007	2709201007	CURRENT OCCUPANT	9910 W 143RD ST	ORLAND PARK	IL	60462-2008	CP MGMT SVCS	PO BOX 1005	ORLAND PARK	IL	60462	NO
27-08-110-012			14401 DEER HAVEN LN	ORLAND PARK	IL		60467 URAN RAMADANI	14401 DEER HAVEN LN	ORLAND PARK	IL	60467	Yes
27-08-210-020	2708210020	CURRENT OCCUPANT	10612 GOLF RD	ORLAND PARK	IL	60462-7421	VERONICA BOWEN	10612 GOLF RD	ORLAND PARK	IL	60462	Yes
27-09-203-013	2709203013	CURRENT OCCUPANT	9976 W 144TH ST	ORLAND PARK	IL	60462-2458	VERONICA LYNCH	9976 W 144TH ST	ORLAND PARK	IL	60462	Yes
27-08-100-035	2708100035	CURRENT OCCUPANT	14400 S 108TH AVE	ORLAND PARK	IL	60467-1908	VICTOR FISCHER	14400 S 108TH AVE	ORLAND PARK	IL	60467	Yes
27-08-111-003			14351 FAWN VIEW CIR	ORLAND PARK	IL		60467 VIVEK KRISHNAN	14351 FAWN VIEW CIR	ORLAND PARK	IL	60467	Yes
27-09-204-004	2709204004	CURRENT OCCUPANT	9911 143RD ST	ORLAND PARK	IL	60462-2007	DOMINIC CURTO	9925 W 143RD PL	ORLAND PARK	IL	60462	NO
27-09-201-023	2709201023	CURRENT OCCUPANT	9912 143RD PL	ORLAND PARK	IL	60462-2404	JAMES R SANDERSON	732 BIRCHWOOD RD	FRANKFORT	IL	60423	NO
27-09-201-003	2709201003	CURRENT OCCUPANT	9925 143RD ST	ORLAND PARK	IL	60462-2007	JEANNE A GARTLAND	8200 KATHRYN COURT	BURR RIDGE IL	IL	60527	NO
27-08-105-024			11170 DEER HAVEN LN	ORLAND PARK	IL		60467 WES & DOROTHY ZOLNIK	11170 DEER HAVEN LN	ORLAND PARK	IL	60467	Yes
27-09-200-019	2709200019	CURRENT OCCUPANT	9952 W 143RD PL	ORLAND PARK	IL	60462-2491	WILLIAM & SUSAN TRUNK	9952 W 143RD PL	ORLAND PARK	IL	60462	Yes
27-08-110-009			14333 DEER HAVEN LN	ORLAND PARK	IL		60467 WILLIAM A BURD	14333 DEER HAVEN LN	ORLAND PARK	IL	60467	Yes
27-09-102-016	2709102016	CURRENT OCCUPANT	14331 OAKLEY ST	ORLAND PARK	IL	60462-1943	RUSSELL J DONOVITCH	14331 OAKLEY ST	ORLAND PARK	IL	60462	Yes
27-06-410-076	2706410076	CURRENT OCCUPANT	11234 MELROSE CT	ORLAND PARK	IL	60467	WILLIAM MCDANIEL	11234 MELROSE CT	ORLAND PARK	IL	60467	Yes
27-09-204-003	2709204003	CURRENT OCCUPANT	9931 143RD ST	ORLAND PARK	IL	60462-2007	THOMAS COURTNEY	7000 W 127TH ST	PALOS HTS	IL	60463	NO
27-09-205-012	2709205012	CURRENT OCCUPANT	9955 144TH ST	ORLAND PARK	IL	60462-2457	PASTOR ION FOGEL	14401 WEST AVE	ORLAND PARK	IL	60462	ORLAND P
27-09-200-016	2709200016	CURRENT OCCUPANT	9966 143RD ST	ORLAND PARK	IL	60462-2077	ROBERT SHUTAY	9999 W 143RD ST	ORLAND PARK	IL	60462	NO
27-04-415-009	2704415009						RICHARD SCHMAEDEKE	10701 S HARLEM AV	WORTH	IL	60482	NO
27-05-308-035	2705308035						TMC CONSTRUCTION INC	14201 ASHFORD CT	ORLAND PARK	IL	60467	NO
27-05-304-012			11170 MARILYN CT	ORLAND PARK	IL	60467	TANESHA L YATES	11170 MARILYN CT	ORLAND PARK	IL	60467	Yes
27-07-201-017		CURRENT OCCUPANT	11329 143RD ST	ORLAND PARK	IL	60467				IL	60467	NO
27-07-201-017		CURRENT OCCUPANT	11325 143RD ST	ORLAND PARK	IL	60467				IL	60467	NO
27-07-201-017		CURRENT OCCUPANT	11323 143RD ST	ORLAND PARK	IL	60467				IL	60467	NO
27-07-201-017		CURRENT OCCUPANT	11321 143RD ST	ORLAND PARK	IL	60467				IL	60467	NO
27-07-201-017		CURRENT OCCUPANT	11319 143RD ST	ORLAND PARK	IL	60467				IL	60467	NO
27-07-201-017		CURRENT OCCUPANT	11315 143RD ST	ORLAND PARK	IL	60467				IL	60467	NO
27-07-201-017		CURRENT OCCUPANT	11313 143RD ST	ORLAND PARK	IL	60467				IL	60467	NO
27-07-201-017		CURRENT OCCUPANT	11311 143RD ST	ORLAND PARK	IL	60467				IL	60467	NO
27-07-201-017		CURRENT OCCUPANT	11309 143RD ST	ORLAND PARK	IL	60467				IL	60467	NO
27-07-201-013		CURRENT OCCUPANT	11255 143RD ST	ORLAND PARK	IL	60467				IL	60467	NO
27-07-201-013		CURRENT OCCUPANT	11247 143RD ST	ORLAND PARK	IL	60467				IL	60467	NO
27-07-201-013		CURRENT OCCUPANT	11245 143RD ST	ORLAND PARK	IL	60467				IL	60467	NO
27-07-201-013		CURRENT OCCUPANT	11243 143RD ST	ORLAND PARK	IL	60467				IL	60467	NO
27-07-201-013		CURRENT OCCUPANT	11241 143RD ST	ORLAND PARK	IL	60467				IL	60467	NO
27-07-201-013		CURRENT OCCUPANT	11239 143RD ST	ORLAND PARK	IL	60467				IL	60467	NO
27-07-201-013		CURRENT OCCUPANT	11237 143RD ST	ORLAND PARK	IL	60467				IL	60467	NO
27-07-201-013		CURRENT OCCUPANT	11235 143RD ST	ORLAND PARK	IL	60467				IL	60467	NO
27-07-201-013		CURRENT OCCUPANT	11229 143RD ST	ORLAND PARK	IL	60467				IL	60467	NO
27-05-302-013		CURRENT OCCUPANT	14259 WOLF RD	ORLAND PARK	IL	60467				IL	60467	NO
27-05-302-013		CURRENT OCCUPANT	14265 WOLF RD	ORLAND PARK	IL	60467				IL	60467	NO
27-05-302-013		CURRENT OCCUPANT	14267 WOLF RD	ORLAND PARK	IL	60467				IL	60467	NO
27-05-302-013		CURRENT OCCUPANT	14269 WOLF RD	ORLAND PARK	IL	60467				IL	60467	NO
27-05-302-013		CURRENT OCCUPANT	14271 WOLF RD	ORLAND PARK	IL	60467				IL	60467	NO
27-05-302-013		CURRENT OCCUPANT	14275 WOLF RD	ORLAND PARK	IL	60467						



Attachment D

Brochure and Comment Form



## NEXT STEPS

WE ARE  
HERE

### PHASE I

**PRELIMINARY ENGINEERING & ENVIRONMENTAL STUDY**  
(TARGETED SPRING 2021 COMPLETION)

### PHASE II

**CONTRACT PLAN PREPARATION**  
(TYPICALLY PROGRAMMED 18 MONTHS,  
TARGETED MID-2021 INITIATION)

### LAND ACQUISITION

(TYPICALLY PROGRAMMED  
24 MONTHS, TARGETED  
2023/2024 INITIATION)  
[UNFUNDED]

### PHASE III CONSTRUCTION

(TYPICALLY PROGRAMMED 24 MONTHS, SCHEDULE TBD)  
[UNFUNDED]

The Village will be advancing the project into Phase II Engineering mid-2021. Phase II Engineering will be funded with a combination of Federal, State and Local funds. At this time the Village has not identified funding for land acquisition, which is targeted to begin in 2023/2024.

Construction funding has not been identified. The current remaining project cost (Land Acquisition, Construction, and Construction Engineering) is \$56.3 million. The Village is actively seeking state and federal funding for this important regional project.

In 2019, the Village received federal funding to implement a traffic signal interconnect project from Wolf Road to Southwest Highway. This project will coordinate the signals to improve traffic progression. This project is anticipated to be completed in 2021.

## LAND ACQUISITION

Property acquisition will be required from approximately 80 properties directly adjacent to 143rd Street. In 2011, the Village secured a 17-foot permanent easement from Forest Preserve District of Cook County McGinnis Slough Forest Preserve to be utilized for this project. The proposed improvements have been moved as far to the north as possible in this area of the project to minimize impacts on the residential properties to the south. Retaining walls are utilized extensively on the north side to minimize private property impacts.

Any property that has proposed acquisition as part of this project will receive a personalized letter and exhibits showing the proposed acquisition as part of the Virtual Public Meeting outreach. Property acquisition is currently unfunded and is targeted to start in 2023/2024. The project will follow the Federal Uniform Act to acquire private property defined by the Federal Government.

## MAINTENANCE OF TRAFFIC

The project team is planning to maintain one lane in each direction during construction of the project. No long-term detours are anticipated.



## COMMENT AND QUESTION SUBMISSION

The Village welcomes your comments or questions regarding this important transportation project. Comment forms can be download from the Virtual Public Meeting web page at [www.143rdStreetProject.com](http://www.143rdStreetProject.com) and can be mailed or emailed as noted on the form. Comments can also be submitted electronically through the Virtual Public Meeting website. Comments submitted by January 11, 2021 will be a part of the Public Meeting record. A response to common questions will be posted to the Virtual Public Meeting page several weeks following the close of the comment period. To request hard copies of project material or for any general questions, you can reach out to the Village:

Department of Engineering Programs and Services  
Village of Orland Park  
708.403.6277 | [eps@orlandpark.org](mailto:eps@orlandpark.org)

The official 143rd Street project page is located on the Village website at: <https://orlandpark.org/services/engineering-programs-and-services/143rd-street-widening-project>. General information and updates will be located here for the duration of the project.



ORLAND  
PARK

## 143RD STREET IMPROVEMENTS WOLF ROAD TO SOUTHWEST HIGHWAY

### PHASE I ENGINEERING STUDY

The Village of Orland Park invites you to participate the Virtual Public Meeting for the **143rd Street Phase I Engineering Study from Wolf Road to Southwest Highway**. The purpose of this Virtual Public Meeting is to present the proposed improvements and project information for public comment.

#### VIRTUAL PUBLIC MEETING

The virtual meeting will be conducted in an open house format where attendees will have the opportunity to review exhibits, provide input on the proposed improvement plan, and submit questions or comments from **December 10, 2020 to January 11, 2021**. Interested persons may view the Virtual Public Meeting website at any time at: **[www.143rdStreetProject.com](http://www.143rdStreetProject.com)**. For those unable to view the website or attend the Zoom meeting, the overall Proposed Improvement Plan, support exhibits, and ways to submit comments or request copies of project information are included in this brochure. If additional information or hard copies are needed, contact the Village.

#### VIRTUAL PROJECT PRESENTATION

A live virtual project presentation (via Zoom) will be held to present project materials and provide the opportunity to talk directly to project team and ask questions. The virtual presentation will be recorded and posted to the virtual Public Meeting web page. For those that may not have access to the internet or a microphone on your computer, you may call in to the meeting.

DATE: Thursday, December 17, 2020  
TIME: 6 p.m.  
WEBSITE: <https://zoom.us/join>  
MEETING ID: 984 8799 7149  
PASSCODE: 763106  
PHONE: 312-626-6799,, 984 8799 7149#

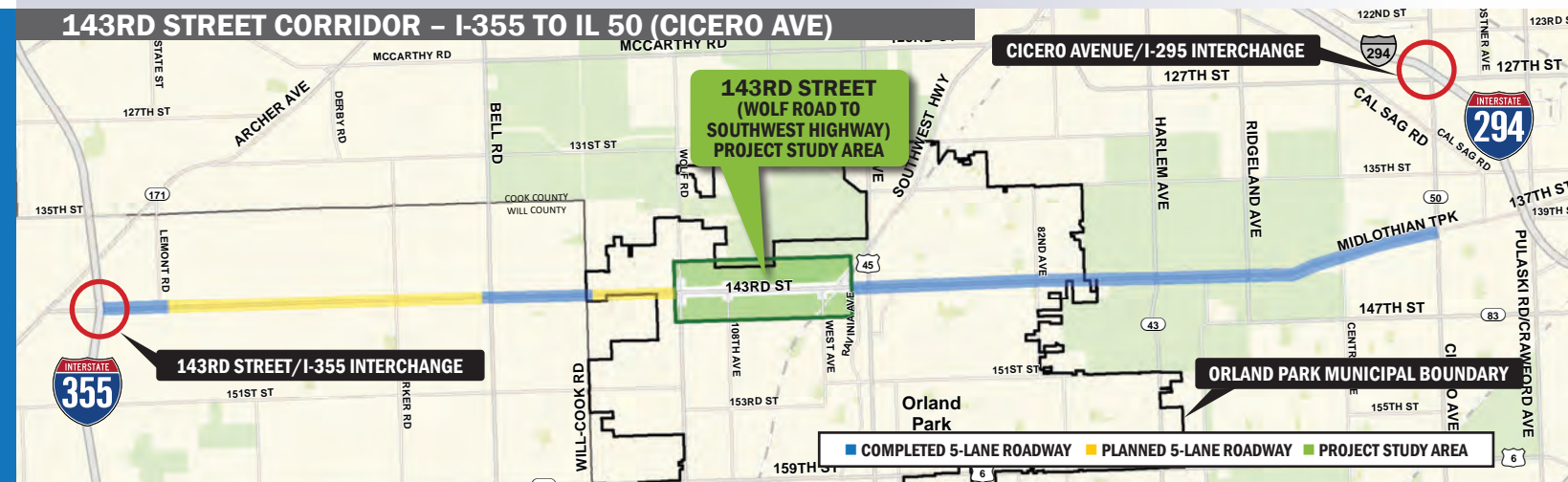
Questions and comments submitted by January 11, 2021 will be specifically added to the Public Meeting record.

## PROJECT OVERVIEW

The Village leadership is taking part in a multi-jurisdictional effort to improve the 143rd Street corridor to widen it to 5-lanes from I-355 on the west to Cicero Avenue on the east, a distance of 15.1 miles. Currently, 8.9 miles of the corridor have been improved to 5-lanes, 2.6 miles of which are within Orland Park (Beacon Avenue just west of the Southwest Metra Service Line to the Village limits on the east). West of Beacon Avenue to Will-Cook Road (the west Village municipal limits), 143rd Street remains a 2/3 lane roadway and experiences significant congestion, safety issues, mobility deficiencies, roadway flooding, and lacks continuous sidewalk/paths.

The Village is leading the engineering effort for two of the three remaining segments of 143rd Street corridor that have not been widened to 5-lanes, the Will-Cook Road to Wolf Road segment (1 mile) and Wolf Road to Southwest Highway segment (1.7 miles). Will County Division of Transportation initiated Phase II Engineering and Land Acquisition for the other remaining segment from Lemont Road/State Street to Bell Road within the limits of the Village of Homer Glenn (3.5-miles). The focus of this Virtual Public Meeting is on the Wolf Road to Southwest Highway segment.

#### 143RD STREET CORRIDOR - I-355 TO IL 50 (CICERO AVE)



[www.143rdStreetProject.com](http://www.143rdStreetProject.com)





PURPOSE AND NEED OF THE PROJECT

The **PURPOSE** of this project is to address:

- Mainline and Intersection Vehicular Capacity
- Safety
- Mobility
- Non-Motorized Accommodations

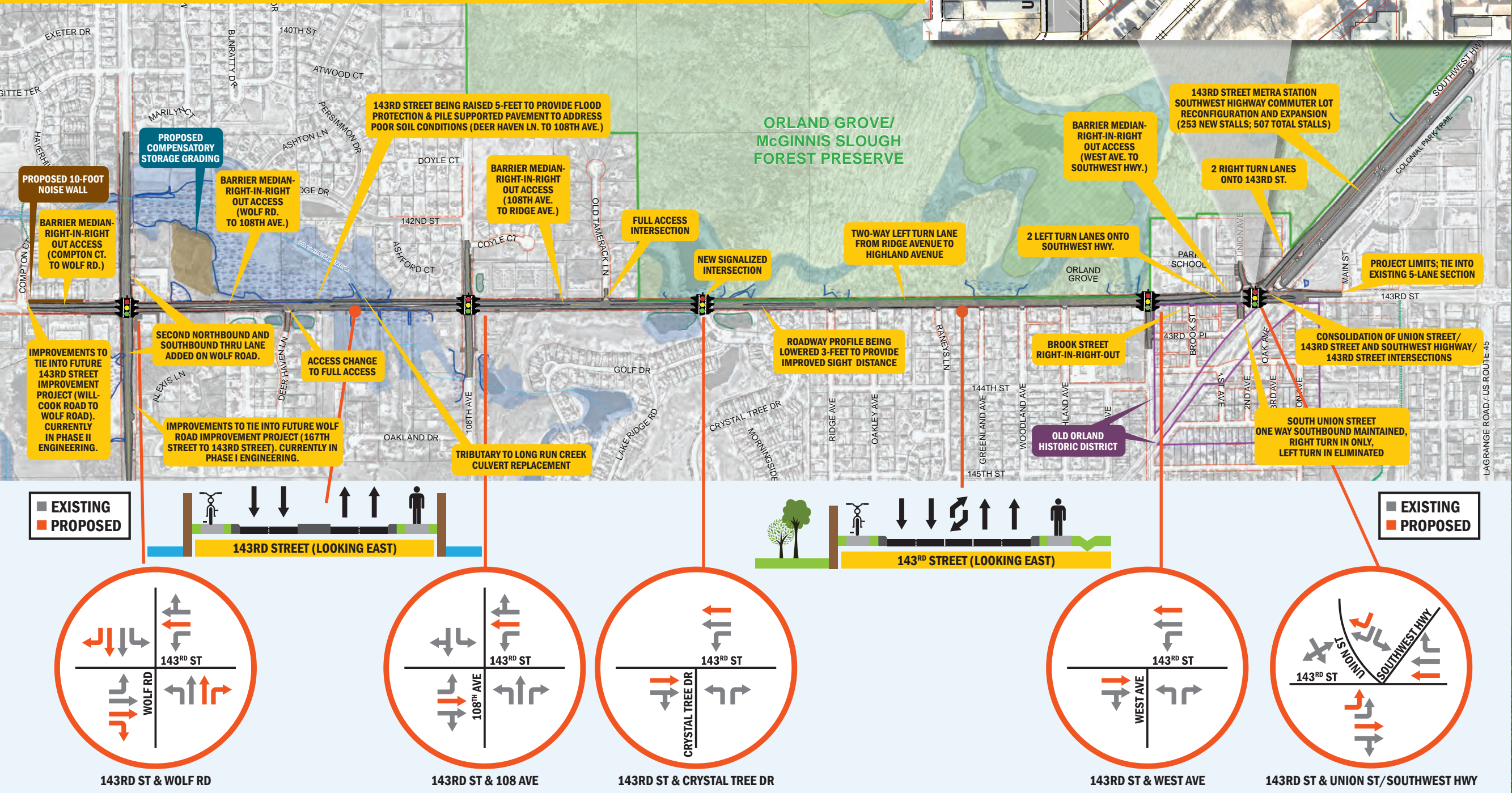
The **NEED** for this project includes (if no improvements are made):

- Travel demand is projected to increase 58% by year 2040.
- By 2040 if no improvements are made, delays along the corridor will increase 370% in the morning rush hour and 290% in the evening rush hour.

- 490 crashes occurred along the corridor from 2014-2018.
- By 2040 if no improvements are made, injury crashes are projected to increase by 82%.
- With traffic increasing, access onto and off of the 41 access points along 143rd Street will continue to decline.
- Gaps in sidewalk network and lack of bicycle accommodations.
- Non-motorized access to 143rd Street Metra station.
- Operational deficiencies.
- Pavement flooding between Wolf Road and 108th Avenue.
- Other drainage issues.

PROPOSED IMPROVEMENTS

To address the project purpose and need, 143rd Street is proposed to be widened from 2/3 lanes to 5 lanes with improved traffic signals, multi-use path (north), sidewalk (south), and new drainage system. A barrier median will be installed along portions of the project corridor. The exhibit below provides more details of the proposed improvements.



USE OF PUBLIC AND HISTORIC LANDS

As part of Phase I Engineering procedures, the project team is seeking input on the proposed use of public and historic lands, which are afforded certain state and federal protections.

The Village of Orland Park is seeking public comments on the use of the Forest Preserve property (McGinnis Slough) at seven general locations, including a total of 0.51 acres of permanent easements & 0.15 acres of temporary construction easements.

The McGinnis Slough Forest Preserve property is owned and operated by the Forest Preserve District of Cook County and is protected by Section 4(f) of the U.S. Department of Transportation Act of 1966. The Village intends to seek a de minimis\* impact finding from the Federal Highway Administration (FHWA) based on the project not adversely affecting the features, attributes, or activities qualifying the properties for protection under U.S. Department of Transportation Section 4(f).

The land from the Forest Preserve property will be utilized to improve the 143rd Street project – providing space to maintain natural drainage patterns, grading, and maintenance along 143rd Street.

The Village of Orland Park is seeking public comments on the use of the property from seven private historic sites, including the local Old Orland Historic District afforded protections under Section 106 of the National Historic Preservation Act. A total of 0.17 acres of permanent easements or right-of-way & 0.05 acres of temporary construction easements.

There are 6 private historic properties with proposed use, four of which are located within the local Old Orland Historic District, one that is located near Woodland Avenue and one that is located at Wolf Road. Private historic properties are afforded certain protections by Section 4(f) of the U.S. Department of Transportation Act of 1966. The Village intends to seek a de minimis\* impact finding from the Federal Highway Administration based on the project not adversely affecting the features, attributes, or activities qualifying the properties for protection under U.S. Department of Transportation Section 4(f).

The land from the historic properties will be utilized to improve the 143rd Street project – providing space for sidewalks, multi-use paths, and grading along 143rd Street.

The Section 4(f) documentation for both the proposed use of Forest Preserve and historic properties are located on the Virtual Public Meeting web page and hard copies can be accessed through the Village. The project comment form can be utilized to submit comments pertaining to the proposed use of Forest Preserve and historic properties.

\* Under Section 4(f) of the U.S. DOT Act of 1966, the de minimis impact means that there are no adverse effects to the activities, features, or attributes qualifying a park, recreational area, wildlife and waterfowl refuge, or public and private historical site for protection – this is after taking into account avoidance, minimization, mitigation and enhancement measures.



### VIRTUAL PUBLIC MEETING COMMENT FORM

The Village of Orland Park is conducting a Virtual Public Meeting related with the 143rd Street Phase I Preliminary Engineering and Environmental Study. The 143rd Street study area is from Wolf Road on the west to Southwest Highway on the east, a distance of 1.7 miles.

Your input is valuable and the Village is committed to including stakeholders in the development of the project. A Virtual Public Meeting is being held from December 10, 2020 to January 11, 2021, where project information is provided on a Virtual Public Meeting web page. A live virtual project presentation will be held on December 17, 2020 at 6pm, which will be recorded and posted to the Virtual Public Meeting web page. You can visit the Virtual Public Meeting web page [www.143rdStreetProject.com](http://www.143rdStreetProject.com) for project information. You can either download this form or submit a comment directly through the Virtual Public Meeting web page.

This meeting is an opportunity for you to provide comments on the:

- Proposed Improvements for 143rd Street (Wolf Road to Southwest Highway)
- Use of property (0.51 acres of permanent easement; 0.15 acres of temporary construction easement) from the McGinnis Slough Forest Preserve associated with the proposed improvements. The Village intends to seek a *de minimis* impact finding from the Federal Highway Administration (FHWA) based on the project not adversely affecting the features, attributes or activities qualifying the properties for protection under U.S. DOT Section 4(f).
- Use of property (0.17 acres of right-of-way; 0.05 acres of temporary construction easement) from seven historic resources associated with the proposed improvements, including the Old Orland Local Historic District. The Village intends to seek a *de minimis* impact finding from the Federal Highway Administration based on the project not adversely affecting the features, attributes or activities qualifying the properties for protection under U.S. DOT Section 4(f).

You may submit your Comment Form using one of the following methods:

- a) Fold in thirds, tape shut, and submit via mail;
- b) Fax to (847) 823-0520; or
- c) Scan and e-mail to [mhuffman@cbbel.com](mailto:mhuffman@cbbel.com)

To be included in the virtual Public Meeting record, please submit comments by Monday, January 11, 2021.

Please check one: ☐ Owner ☐ Resident (Tenant)

Name (Please Print Clearly): \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Comments: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

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\_\_\_\_\_

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\_\_\_\_\_



Attachment E

Public Information Meeting Website Exhibits





ORLAND PARK

# 143<sup>RD</sup> STREET IMPROVEMENTS

(WOLF ROAD TO SOUTHWEST HIGHWAY)  
PHASE I ENGINEERING STUDY



Christopher B. Burke Engineering, Ltd.





ORLAND PARK

143RD STREET IMPROVEMENTS (WOLF ROAD TO SOUTHWEST HIGHWAY)

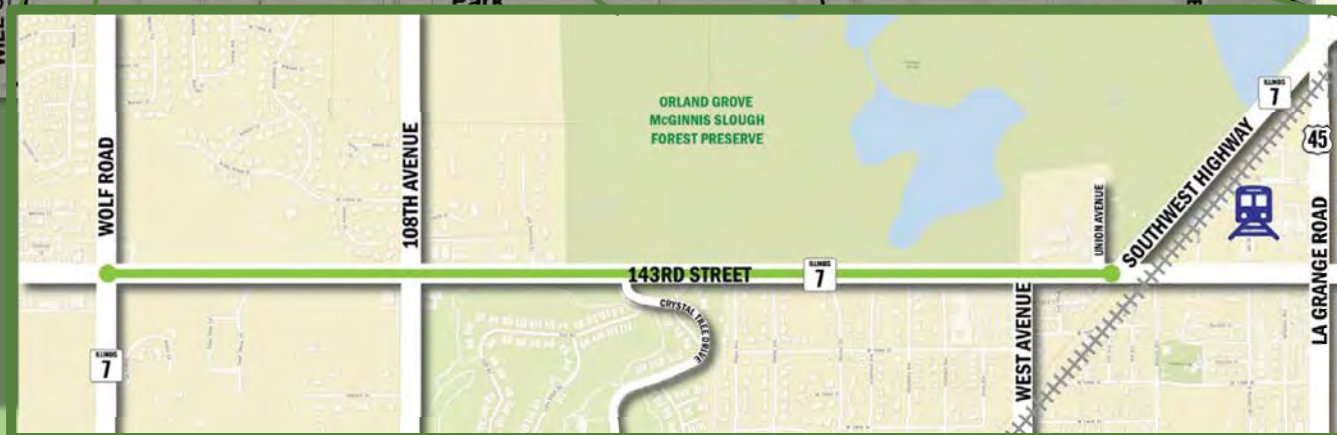
143<sup>rd</sup> STREET CORRIDOR

## 143RD STREET CORRIDOR - I-355 TO IL 50 (CICERO AVE)

■ COMPLETED 5-LANE ROADWAY ■ PLANNED 5-LANE ROADWAY ■ PROJECT STUDY AREA



**THE PROJECT STUDY LIMITS ARE  
ALONG 143<sup>RD</sup> STREET FROM  
WOLF ROAD ON THE WEST TO  
SOUTHWEST HIGHWAY ON THE  
EAST, A DISTANCE OF 1.7 MILES.**







## NEXT STEPS

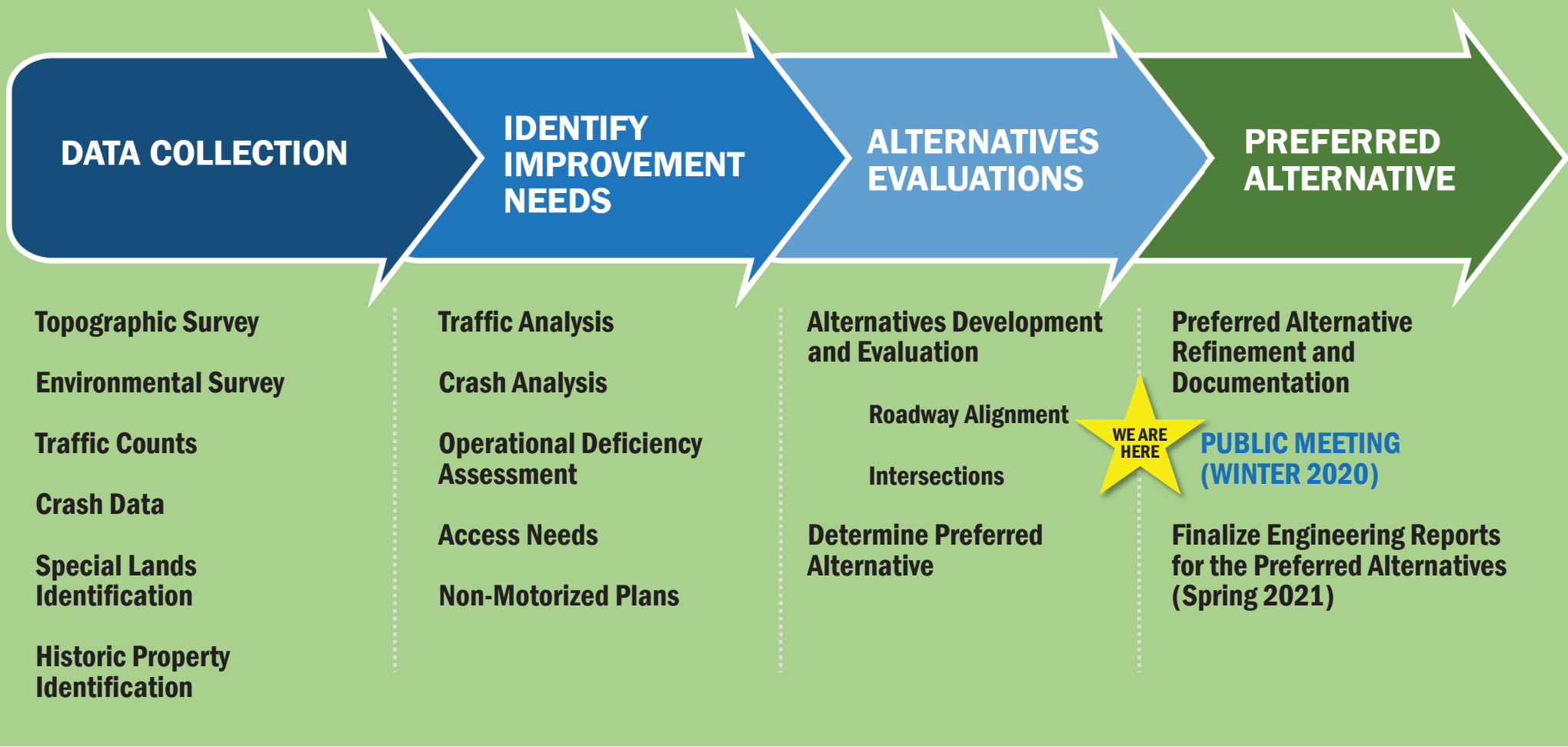
**WE ARE  
HERE**







WHAT IS A PHASE I STUDY?





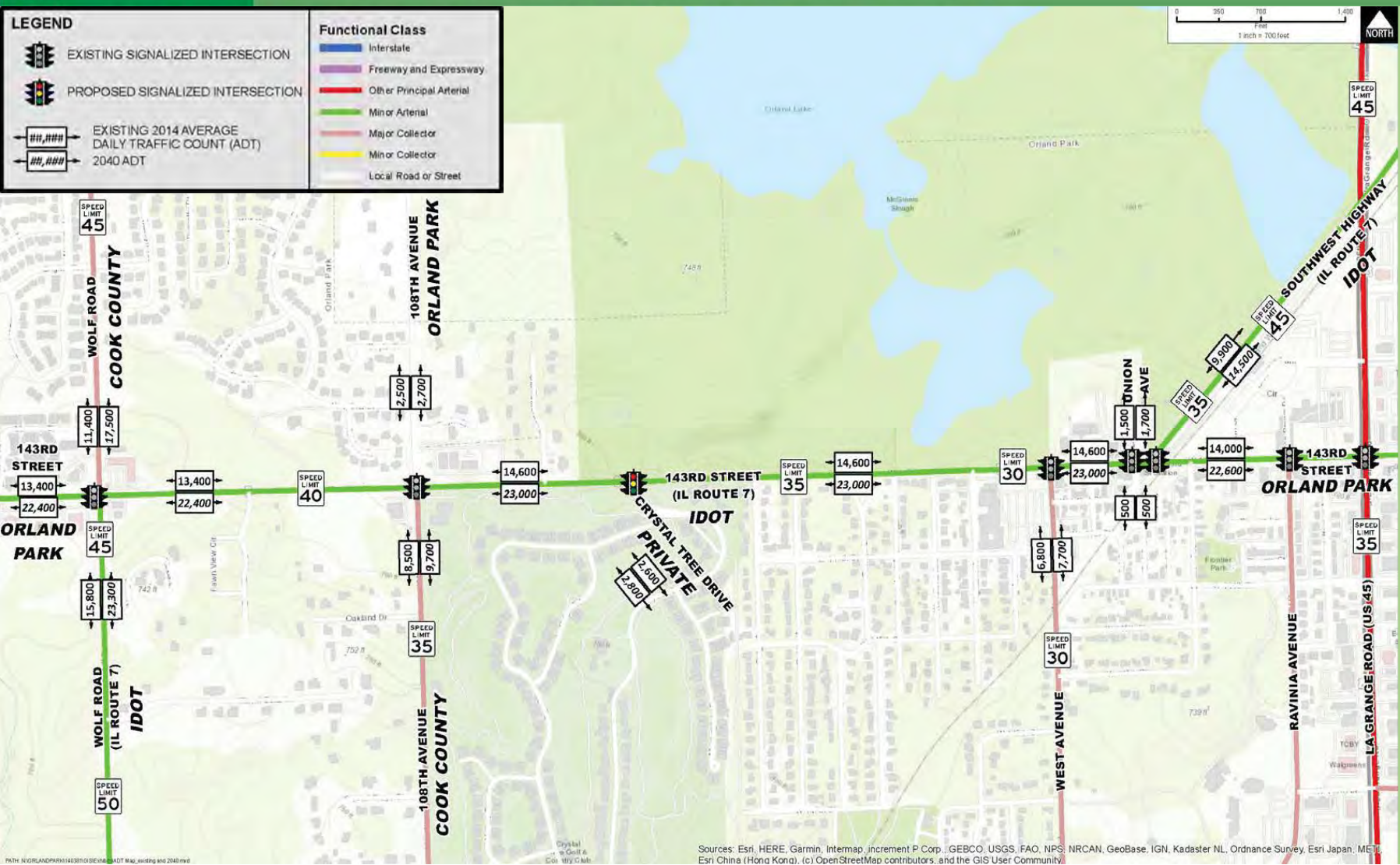


# ORLAND PARK 143RD STREET IMPROVEMENTS (WOLF ROAD TO SOUTHWEST HIGHWAY)

## TRAFFIC INFORMATION

**LEGEND**  
 EXISTING SIGNALIZED INTERSECTION  
 PROPOSED SIGNALIZED INTERSECTION  
 EXISTING 2014 AVERAGE DAILY TRAFFIC COUNT (ADT)  
 2040 ADT

**Functional Class**  
 Interstate  
 Freeway and Expressway  
 Other Principal Arterial  
 Minor Arterial  
 Major Collector  
 Minor Collector  
 Local Road or Street



**IF NO IMPROVEMENTS ARE MADE BY THE YEAR 2040, TRAFFIC IS PROJECTED TO INCREASE 58%**

**143<sup>rd</sup> STREET FROM WOLF ROAD TO SOUTHWEST HIGHWAY IS UNDER THE MAINTENANCE AND JURISDICTION OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) AND IS MARKED IL ROUTE 7.**

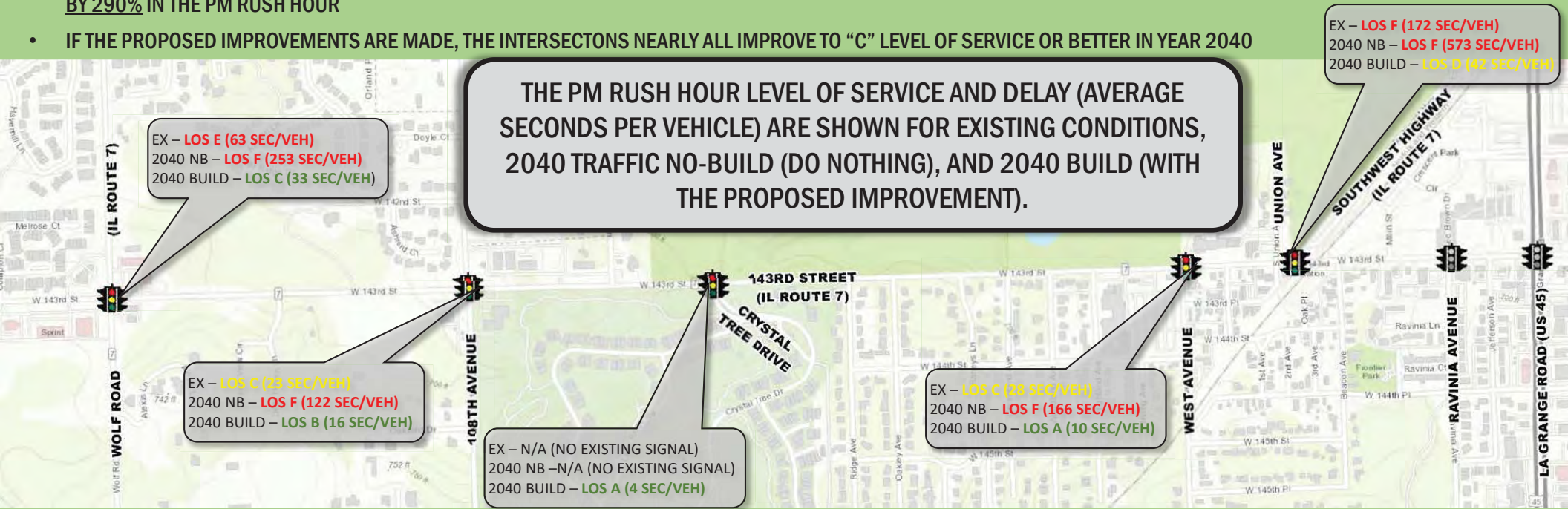




# ORLAND PARK 143RD STREET IMPROVEMENTS (WOLF ROAD TO SOUTHWEST HIGHWAY)

## CAPACITY

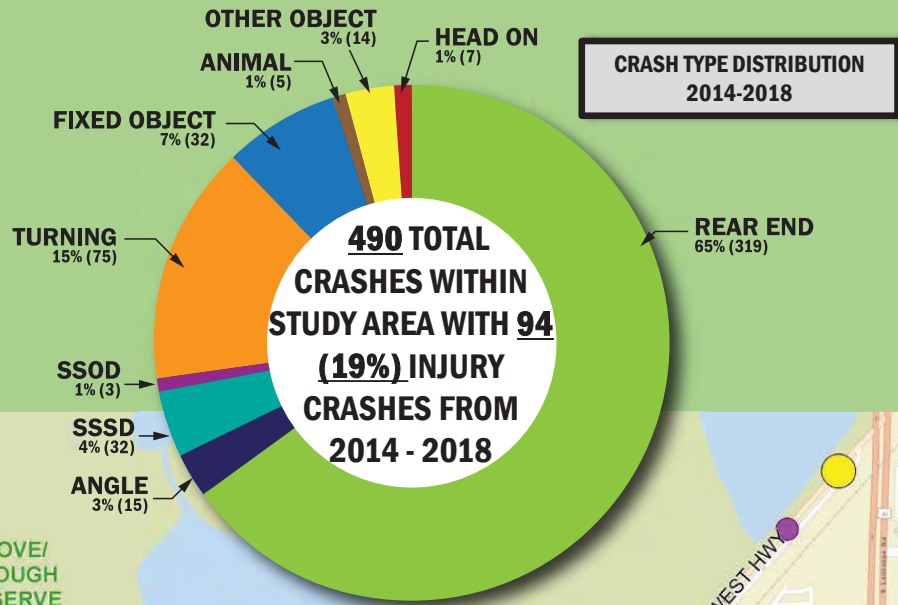
- CAPACITY IS MEASURED BY LEVEL OF SERVICE (LOS), WHICH IS A LETTER GRADE FROM "A" (BEST) THROUGH "F" (WORST) THAT REPRESENTS THE AVERAGE AMOUNT OF DELAY EXPERIENCED AT AN INTERSECTION. A LOS "C" OR BETTER IS SOUGHT WITH THE PROPOSED IMPROVEMENTS.
- THE INTERSECTIONS WITHIN THE PROJECT AREA CURRENTLY HAVE A "C", "E" OR "F" LEVEL OF SERVICE
- IF NO IMPROVEMENTS ARE MADE BY THE YEAR 2040, ALL INTERSECTIONS ARE PROJECTED TO DECLINE TO AN "F" LEVEL OF SERVICE AND DELAY IS PROJECTED TO INCREASE BY 290% IN THE PM RUSH HOUR
- IF THE PROPOSED IMPROVEMENTS ARE MADE, THE INTERSECTIONS NEARLY ALL IMPROVE TO "C" LEVEL OF SERVICE OR BETTER IN YEAR 2040







IF NO IMPROVEMENTS ARE MADE BY THE YEAR 2040, INJURY CRASHES ARE PROJECTED TO INCREASE BY 82%



BELOW IS A CRASH HEAT MAP DISPLAYING THE LOCATION OF CRASHES THAT OCCURRED FROM 2014 - 2018. THE DIFFERENT COLORS & SIZE REPRESENT THE CRASH SEVERITY (SEE LEGEND)

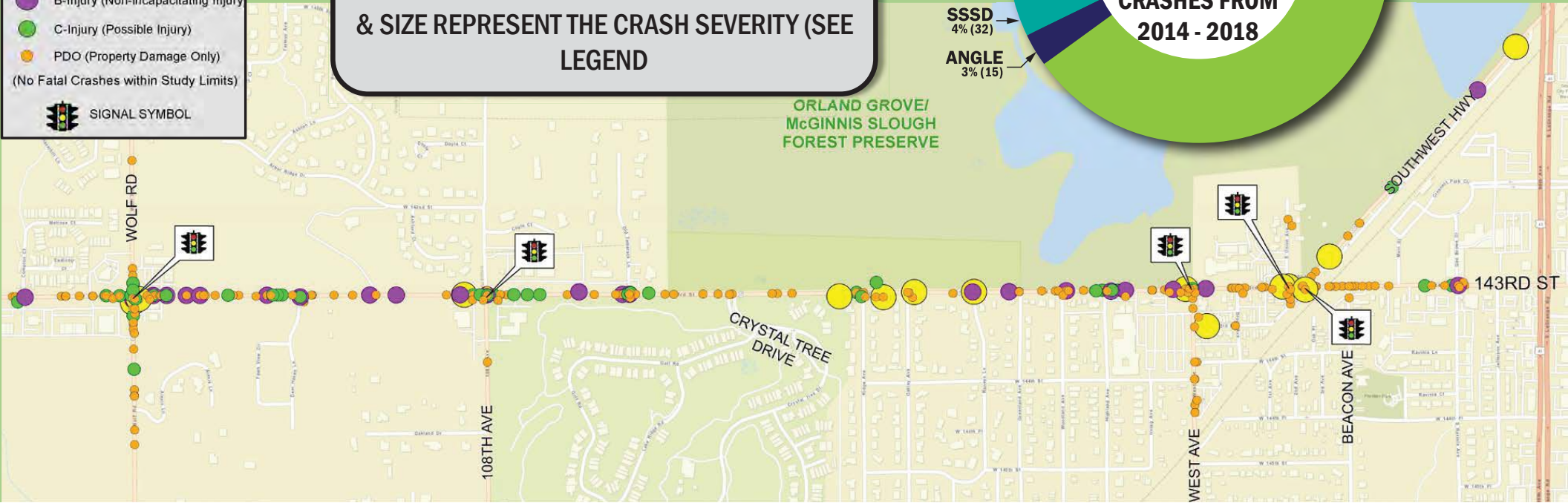
**Legend**

CRASH INJURY TYPE

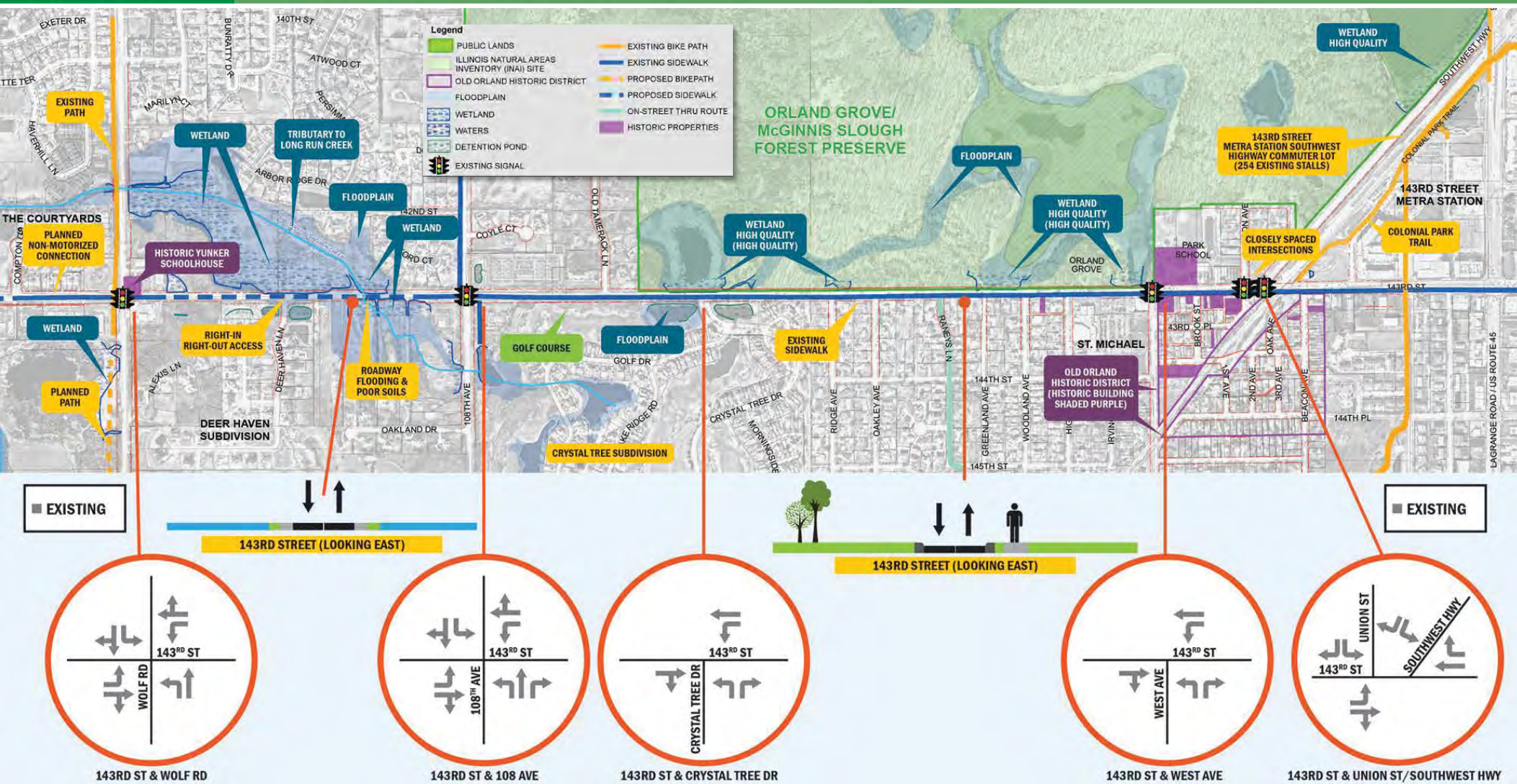
- A-Injury (Incapacitating Injury)
- B-Injury (Non-incapacitating Injury)
- C-Injury (Possible Injury)
- PDO (Property Damage Only)

(No Fatal Crashes within Study Limits)

SIGNAL SYMBOL







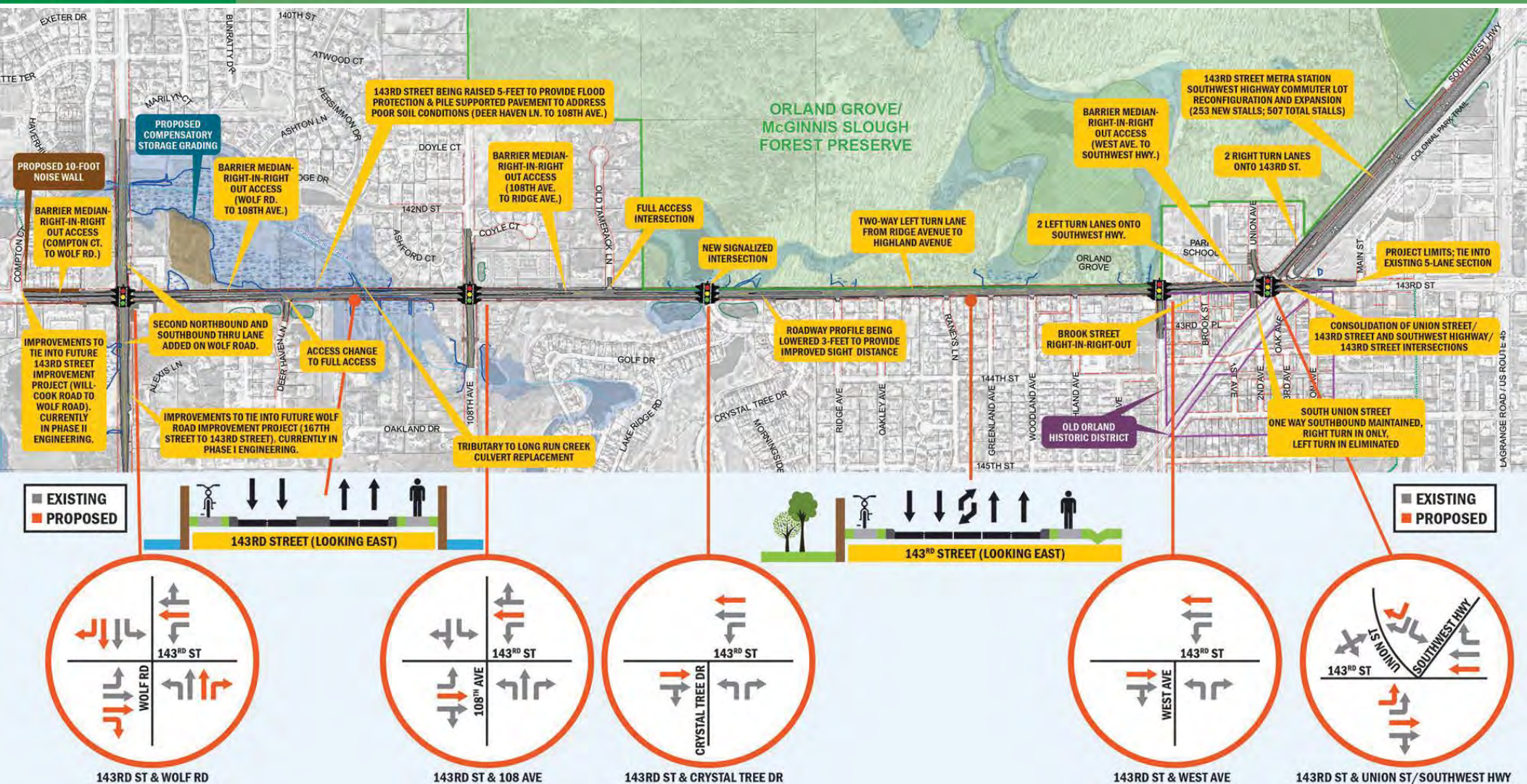




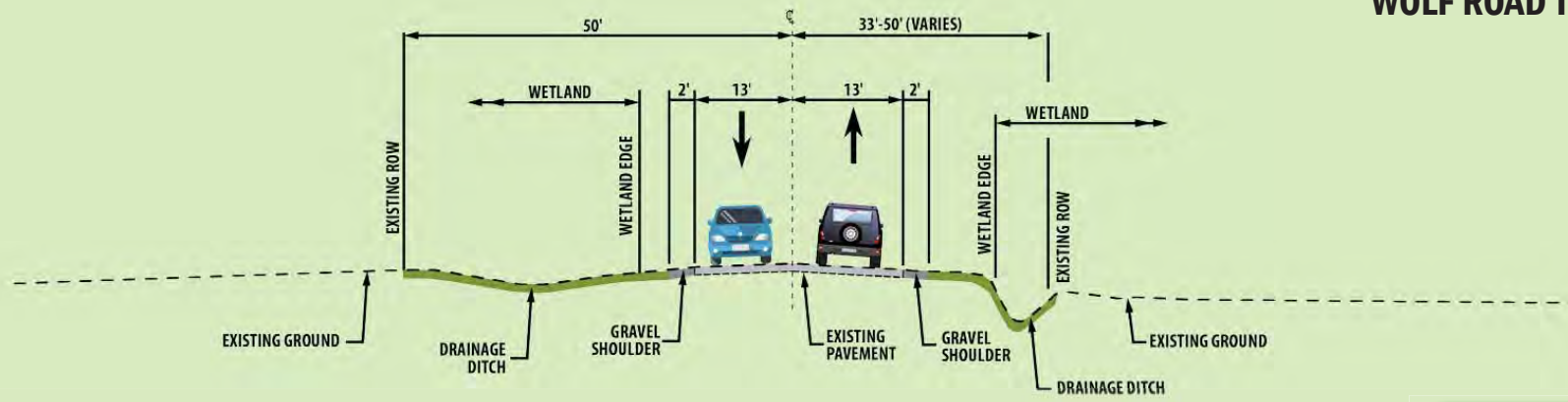
ORLAND PARK

# 143RD STREET IMPROVEMENTS (WOLF ROAD TO SOUTHWEST HIGHWAY)

## OVERALL PROPOSED IMPROVEMENTS

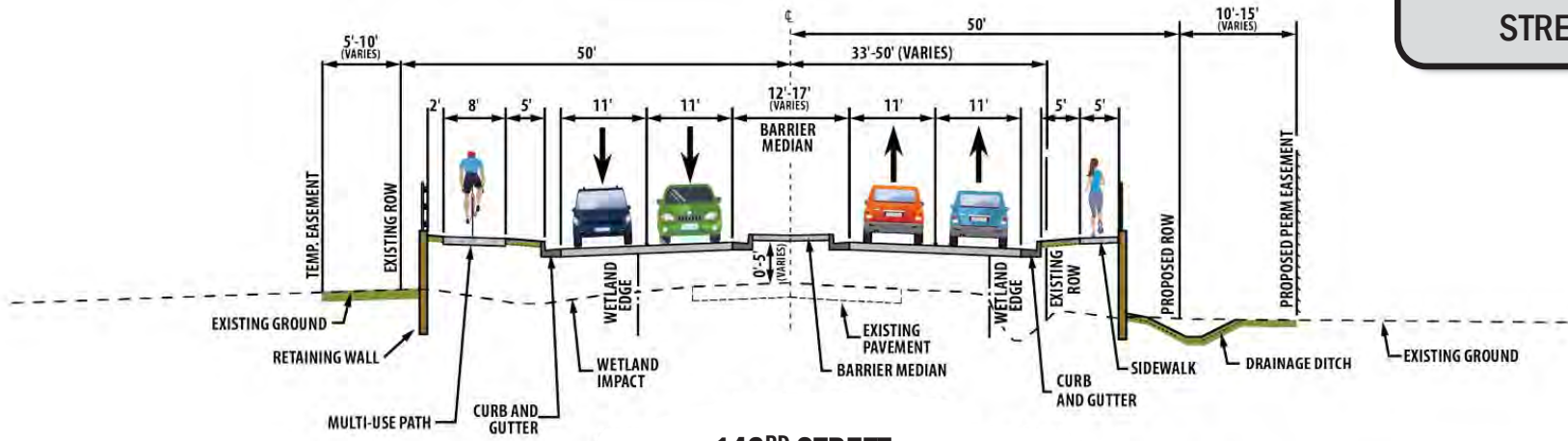






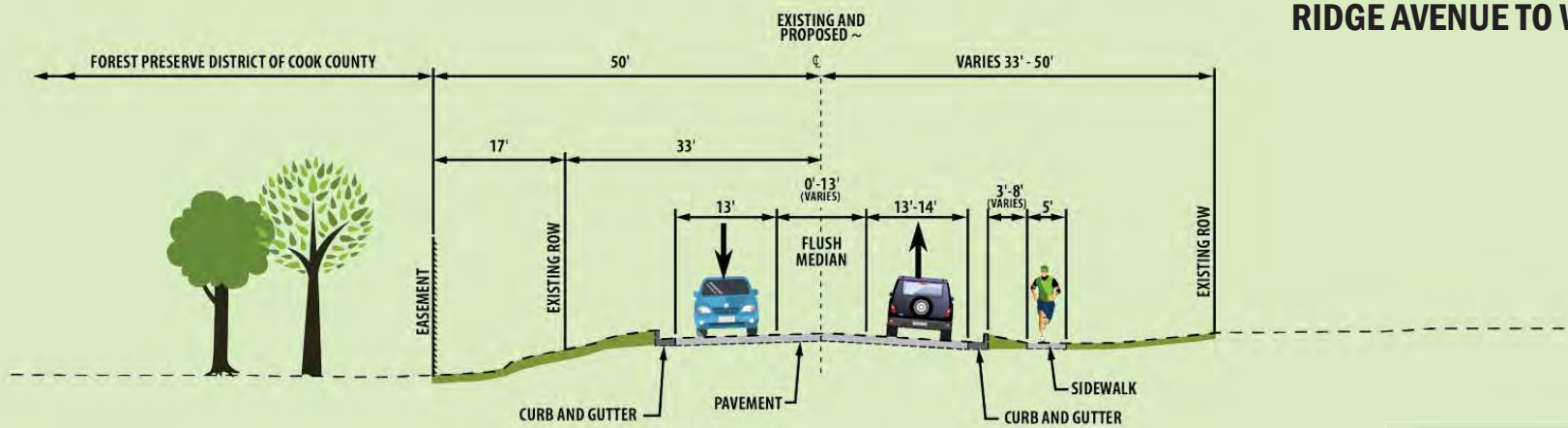
143<sup>RD</sup> STREET  
EXISTING TYPICAL SECTION (WOLF ROAD TO 108TH AVENUE)

LOOKING EAST  
ALONG 143<sup>RD</sup>  
STREET



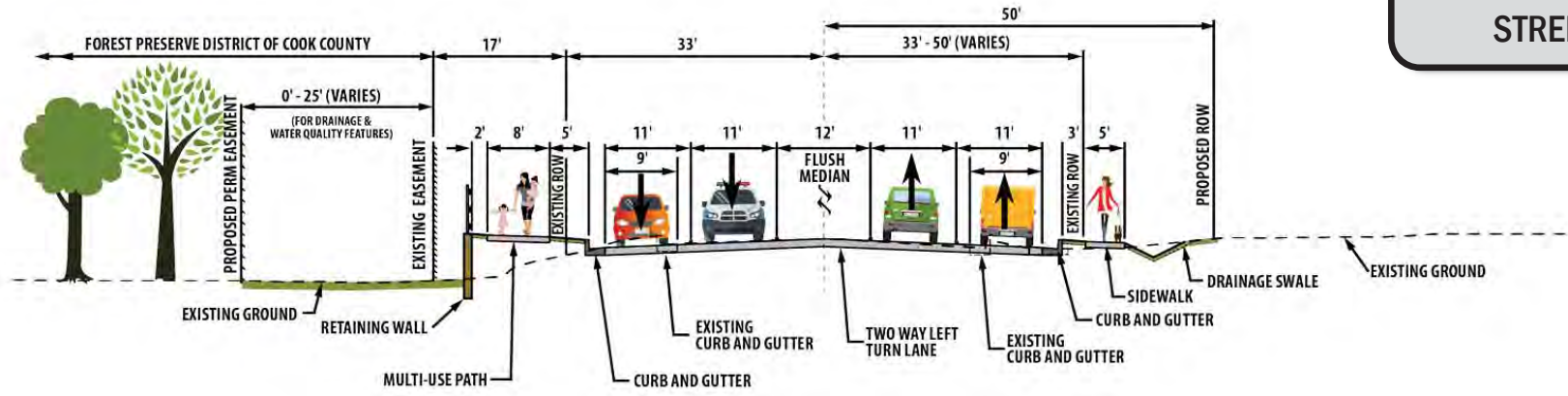
143<sup>RD</sup> STREET  
PROPOSED TYPICAL SECTION (WOLF ROAD TO 108TH AVENUE)





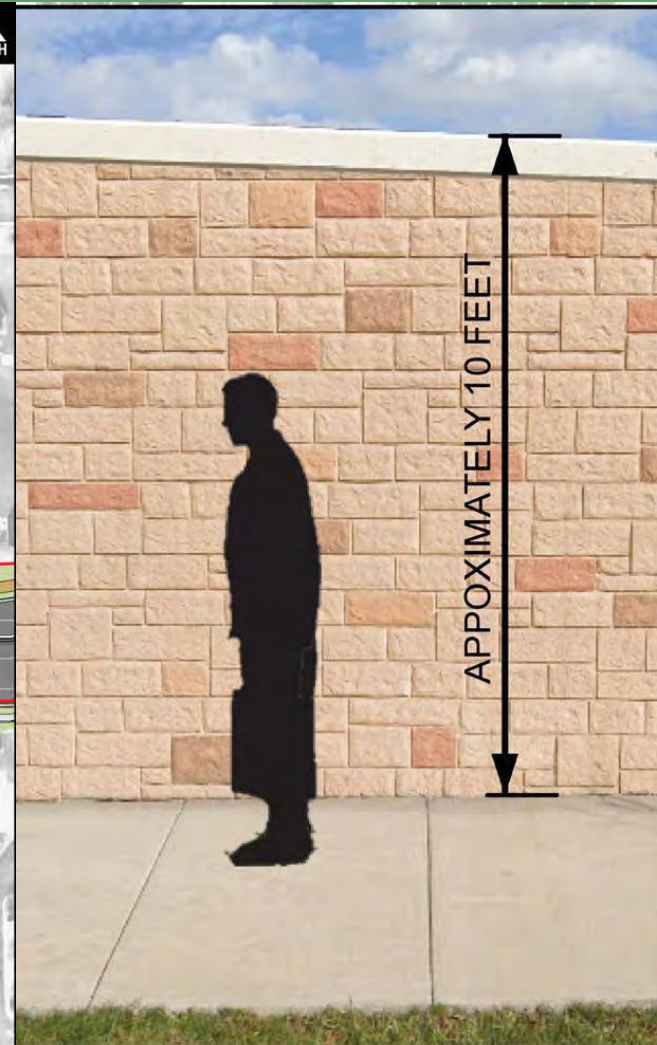
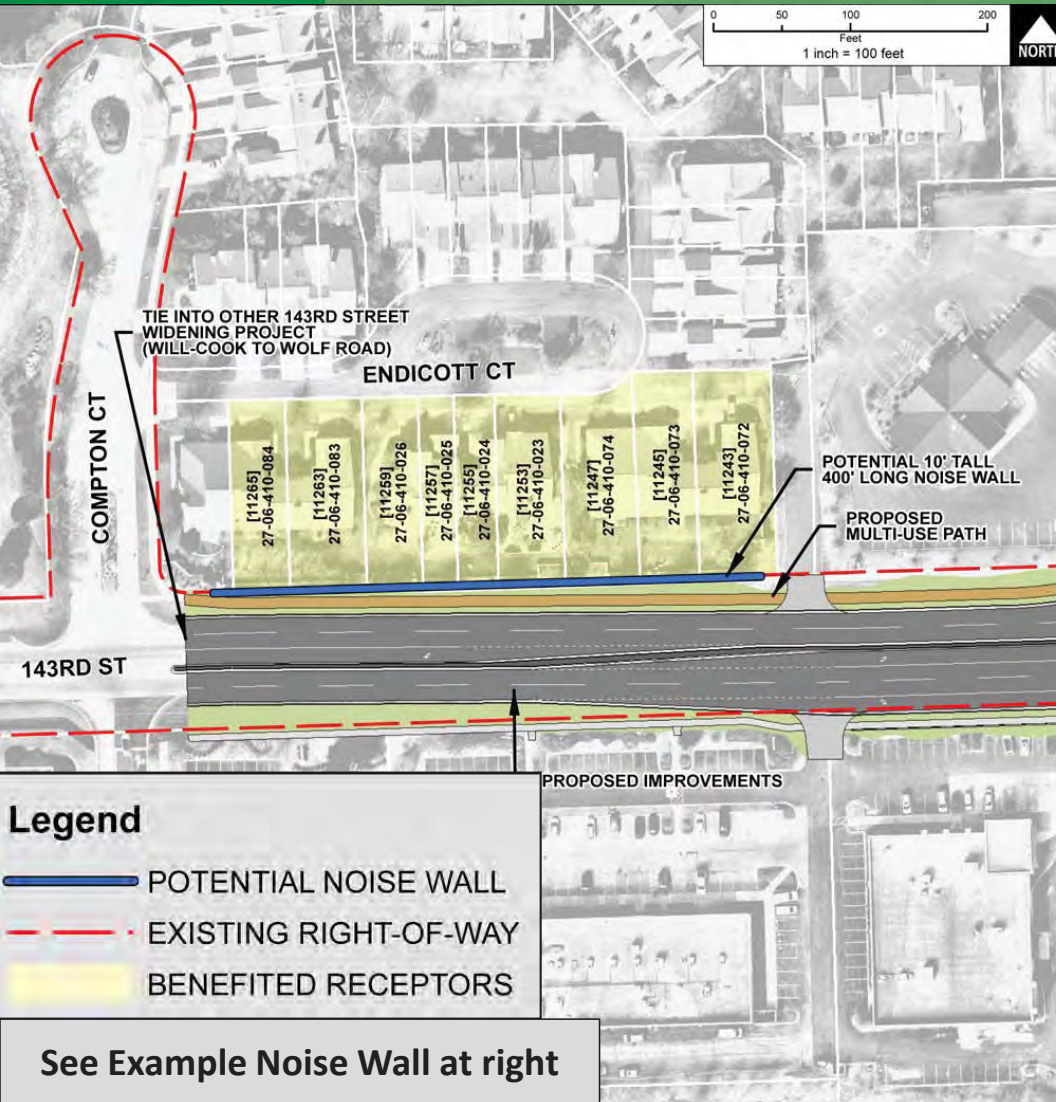
**143<sup>RD</sup> STREET**  
**EXISTING TYPICAL SECTION (RIDGE AVENUE TO WEST AVENUE)**

LOOKING EAST  
ALONG 143<sup>RD</sup>  
STREET



**143<sup>RD</sup> STREET**  
**PROPOSED TYPICAL SECTION (RIDGE AVENUE TO WEST AVENUE)**





EXAMPLE NOISE WALL

A TRAFFIC NOISE ANALYSIS  
WAS PERFORMED FOR THE  
ENTIRE PROJECT STUDY AREA.  
A NOISE WALL IS PROPOSED  
AT 1 LOCATION BASED ON  
IDOT AND FEDERAL NOISE  
POLICY AND PROCEDURES.

A 10-FOOT WALL IS PROPOSED  
ALONG THE NORTH SIDE OF  
143<sup>RD</sup> STREET, EAST OF WOLF  
ROAD. (MATERIAL TO BE  
DETERMINED DURING PHASE  
II ENGINEERING)





## 3 TYPES OF LAND ACQUISITION

### FEE SIMPLE ACQUISITION –

or the acquisition of all rights and interest of real property (i.e. right-of-way)

### PERMANENT EASEMENTS –

where underlying ownership is retained by the property owner, but access is permanently allowed during and after construction for maintenance of facilities such as drainage structures.

### TEMPORARY EASEMENTS –

where underlying ownership is retained by the property owner but access is temporarily allowed only during construction for items such as grading work, driveway construction, and other minor improvements.

Land acquisition is required for this project from a total of **81 properties**. It includes Fee Simple acquisition of **2.77 acres from 46 properties**, Permanent Easement of **6.11 acres from 37 properties**, and Temporary Easement of **9.00 acres from 71 properties**. The land acquisition process will follow the Federal Uniform Relocation Assistance and Real Property Acquisition Act. The Village can begin the land acquisition process for the project once funding is identified and is targeted for 2023/2024.

## LAND ACQUISITION PROCESS

The land acquisition process involves the following steps:

1. The ownership of the property is confirmed;
2. A plat of survey drawing is prepared to show the dimensions and amount of property that is being acquired;
3. An independent appraisal is made to determine the fair market value of the property to be acquired;
4. Negotiations begin with an offer to acquire the necessary property at the appraised value;
5. If a settlement cannot be reached, the matter is referred to the courts for acquisition under the law of eminent domain, in which property owners are compensated fair market value for the acquired property.







# ORLAND PARK 143RD STREET IMPROVEMENTS (WOLF ROAD TO SOUTHWEST HIGHWAY)

## FOREST PRESERVE IMPACTS

- Legend**
- FOREST PRESERVE/SPECIAL LANDS
  - EXISTING RIGHT-OF-WAY
  - EXISTING PERMANENT EASEMENT
  - PROPOSED RIGHT-OF-WAY
  - PROPOSED PERMANENT EASEMENT
  - PROPOSED TEMPORARY EASEMENT
  - POTENTIAL BMP\* OPPORTUNITY AREA
  - WETLAND
  - WATERS OF THE U.S. (WOUS)
  - DETENTION POND
  - ILLINOIS NATURAL AREAS INVENTORY (INAI) SITE
  - EXISTING PROPERTY BOUNDARY
  - EXISTING OUTLET (APPROXIMATE LOCATION)
  - PROPOSED OUTLET (APPROXIMATE LOCATION)
  - ABANDONED OUTLET

**ANTICIPATED TREE REMOVAL WITHIN PROPOSED FOREST PRESERVE EASEMENTS**

NOTE: FOR THIS ASSESSMENT, TREES (4" DBH\*) LOCATED WITHIN PROPOSED EASEMENT AREAS WERE ASSUMED TO BE IMPACTED.  
(\*) DBH = DIAMETER AT BREAST HEIGHT. SEE SHEETS C-1 TO C-4 FOR IMPACTS.

EASEMENT AREA #1	QUANTITY	EASEMENT AREA #2B	QUANTITY	EASEMENT AREA #4	QUANTITY	EASEMENT AREA #6	QUANTITY
American elm	5	American elm	2	American elm	2	Black walnut	1
Box elder	1	Black locust	2	Black cherry	1	Shagbark hickory	1
Black locust	2	Bur oak	6	Black walnut	2	<b>TOTAL</b>	<b>2</b>
Black walnut	2	Shagbark hickory	1	Green ash	3	EASEMENT AREA #7	QUANTITY
Green ash	2	<b>TOTAL</b>	<b>11</b>	Silver maple	4	American elm	2
<b>TOTAL</b>	<b>12</b>	EASEMENT AREA #3	QUANTITY	White mulberry	3	Bur oak	2
EASEMENT AREA #2A	QUANTITY	American elm	1	<b>TOTAL</b>	<b>15</b>	Common hackberry	1
American elm	3	Black walnut	4	EASEMENT AREA #5	QUANTITY	Shagbark hickory	1
Bur oak	4	Red oak	1	No impacts	0	White oak	2
<b>TOTAL</b>	<b>7</b>	<b>TOTAL</b>	<b>6</b>	<b>TOTAL</b>	<b>8</b>		

**ANTICIPATED TREE REMOVAL GRAND TOTAL = 61**

**WETLAND / WATERS SUMMARY**

ID	FQI	C-VALUE	TOTAL ACREAGE	IMPACT ACREAGE WITHIN PROPOSED EASEMENT (AC)
10	27.1	3.0	3.13*	0.05
15	14.7	2.2	3.05*	NO IMPACT
W10	N/A	N/A	0.06	0.02

(\*) TOTAL ACREAGE EXTENDS BEYOND STUDY AREA LIMITS AND WAS NOT DETERMINED. SEE SHEETS C-1 TO C-4 FOR IMPACTS.

(\*) BMP = BEST MANAGEMENT PRACTICE  
NOTE: INAI SITES ARE FROM IDNR, INPC, IL ENDANGERED SPECIES PROTECTION BOARD, AND INHD (DATED 07/22/2020)



\* Under Section 4(f) of the U.S. DOT Act of 1966, the de minimis impact means that there are no adverse effects to the activities, features, or attributes qualifying a park, recreational area, wildlife and waterfowl refuge, or public and private historical site for protection — this is after taking into account avoidance, minimization, mitigation and enhancement measures.

The Village of Orland Park is seeking public comments on the use of the Forest Preserve property (McGinnis Slough) at seven general locations, including a total of 0.51 acres of permanent easements & 0.15 acres of temporary construction easements.

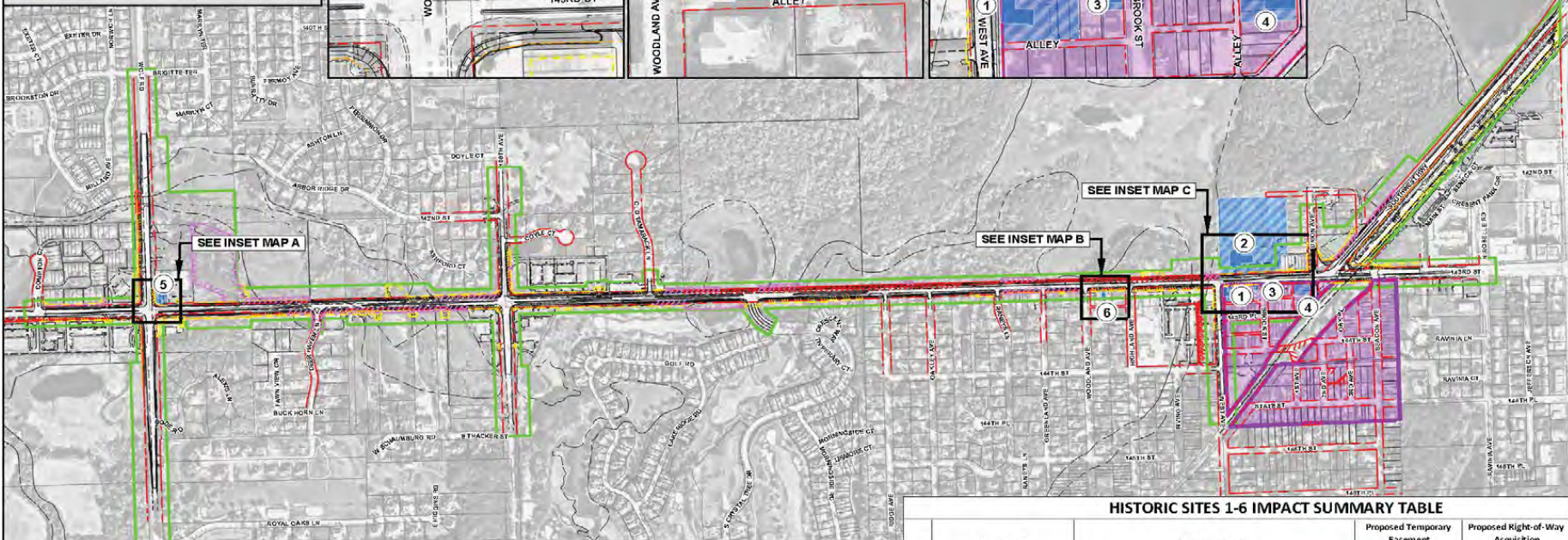
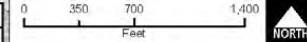
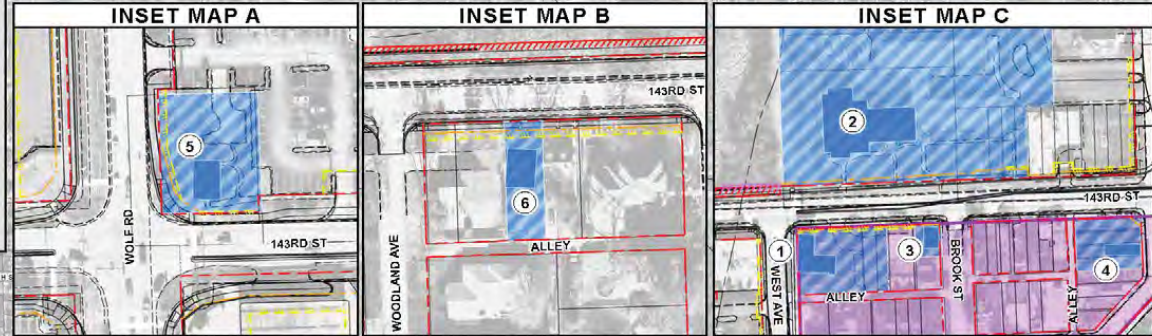
The McGinnis Slough Forest Preserve property is owned and operated by the Forest Preserve District of Cook County and is protected by Section 4(f) of the U.S. Department of Transportation Act of 1966. The Village intends to seek a de minimis\* impact finding from the Federal Highway Administration (FHWA) based on the project not adversely affecting the features, attributes, or activities qualifying the properties for protection under U.S. Department of Transportation Section 4(f).





**Legend**

- POTENTIALLY AFFECTED HISTORIC RESOURCES
- OLD ORLAND HISTORIC DISTRICT
- EXISTING PROPERTY BOUNDARY
- PROJECT STUDY AREA
- EXISTING RIGHT-OF-WAY
- EXISTING PERMANENT EASEMENT
- PROPOSED RIGHT-OF-WAY
- PROPOSED PERMANENT EASEMENT
- PROPOSED TEMPORARY EASEMENT



The Village of Orland Park is seeking public comments on the use of the property from seven private historic sites, including the local Old Orland Historic District afforded protections under Section 106 of the National Historic Preservation Act. A total of 0.17 acres of permanent easements or right-of-way & 0.05 acres of temporary construction easements.

There are 6 private historic properties with proposed use, four of which are located within the local Old Orland Historic District, one that is located near Woodland Avenue and one that is located at Wolf Road. Private historic properties are afforded certain protections by Section 4(f) of the U.S. Department of Transportation Act of 1966. The Village intends to seek a de minimis\* impact finding from the Federal Highway Administration based on the project not adversely affecting the features, attributes, or activities qualifying the properties for protection under U.S. Department of Transportation Section 4(f).

OLD ORLAND HISTORIC DISTRICT IMPACT SUMMARY TABLE

Description	Address/Location	Proposed Temporary Easement		Proposed Right-of-Way Acquisition		For Details See Attachment
		Acres	Square Feet	Acres	Square Feet	
Sites 1, 3 & 4 - See table at right	See table at right	0.016	688	0.022	964	C-1, C-4 and C-5
Retail/Residential	9959 W. 143rd St.	0.006	247	0.003	135	C-9
Retail	9869 W. 143rd St.	0.002	78	0	0	C-9
OLD ORLAND HISTORIC DISTRICT TOTAL		0.024	1,013	0.025	1,079	C-9

HISTORIC SITES 1-6 IMPACT SUMMARY TABLE

ID	Description	Address/Location	Proposed Temporary Easement		Proposed Right-of-Way Acquisition	
			Acres	Square Feet	Acres	Square Feet
1	Former Christ Lutheran Church	9999 W. 143rd St. (in Historic District)	0.016	688	0.014	629
2	Orland Park School	9960 W. 143rd St.	0.005	209	0.114	4,961
3	Building (Former Residence)	9953 W. 143rd St. (in Historic District)	0	0	0.003	111
4	Orland Park Hotel	14306 - 14310 Union Ave. (in Historic District)	0	0	0.005	204
5	Yunker School	14299 Wolf Rd.	0.020	867	0.023	984
6	Residential Property	10117 W. 143rd St.	0.006	272	0.009	388
SITES 1-6 TOTALS			0.047	2,027	0.168	7,277

\* Under Section 4(f) of the U.S. DOT Act of 1966, the de minimis impact means that there are no adverse effects to the activities, features, or attributes qualifying a park, recreational area, wildlife and waterfowl refuge, or public and private historical site for protection – this is after taking into account avoidance, minimization, mitigation and enhancement measures.





ORLAND PARK

## 143RD STREET IMPROVEMENTS (WOLF ROAD TO SOUTHWEST HIGHWAY)

## WAYS TO COMMENT

### VIRTUAL PUBLIC MEETING COMMENT FORM

The Village of Orland Park is conducting a Virtual Public Meeting related with the 143rd Street Phase I Preliminary Engineering and Environmental Study. The 143rd Street study area is from Wolf Road on the west to Southwest Highway on the east, a distance of 1.7 miles.

This meeting is an opportunity for you to provide comments on the:

- **Proposed Improvements** for 143rd Street (Wolf Road to Southwest Highway)
- **Use of property (0.51 acres of permanent easement; 0.15 acres of temporary construction easement) from the McGinnis Slough Forest Preserve** associated with the proposed improvements. The Village intends to seek a *de minimis* impact finding from the Federal Highway Administration (FHWA) based on the project not adversely affecting the features, attributes or activities qualifying the properties for protection under U.S. DOT Section 4(f).
- **Use of property (0.17 acres of right-of-way; 0.05 acres of temporary construction easement) from seven historic resources** associated with the proposed improvements, including the Old Orland Local Historic District. The Village intends to seek a *de minimis* impact finding from the Federal Highway Administration based on the project not adversely affecting the features, attributes or activities qualifying the properties for protection under U.S. DOT Section 4(f).



### WAYS TO COMMENT:

- Visit the Virtual Public Meeting web page **[www.143rdStreetProject.com](http://www.143rdStreetProject.com)** and submit comment electronically;
- Visit the Virtual Public Meeting web page to download a Comment Form and Submit (mail, email, fax, or drop off at Village Hall);
- During Virtual Public Meeting (December 17th, 2020 at 6pm)

**To be included in the virtual Public Meeting record, please submit comments by Monday, January 11, 2021.**

**ORLAND PARK**

**143RD STREET IMPROVEMENTS**  
WOLF ROAD TO SOUTHWEST HIGHWAY

**PHASE I ENGINEERING STUDY**

**VIRTUAL PUBLIC MEETING COMMENT FORM**

The Village of Orland Park is conducting a Virtual Public Meeting related with the 143rd Street Phase I Preliminary Engineering and Environmental Study. The 143rd Street study area is from Wolf Road on the west to Southwest Highway on the east, a distance of 1.7 miles.

Your input is valuable and the Village is committed to including stakeholders in the development of the project. A Virtual Public Meeting is being held from December 22, 2020 to January 11, 2021, where project information is provided on a Virtual Public Meeting web page. A live virtual project presentation will be held on December 17, 2020 at 6pm, which will be recorded and posted to the Virtual Public Meeting web page. You can visit the Virtual Public Meeting web page [www.143rdStreetProject.com](http://www.143rdStreetProject.com) for project information. You can either download this form or submit a comment directly through the Virtual Public Meeting web page.

This meeting is an opportunity for you to provide comments on the:

- Proposed improvements for 143rd Street (Wolf Road to Southwest Highway)
- Use of property (0.51 acres of permanent easement; 0.15 acres of temporary construction easement) from the McGinnis Slough Forest Preserve associated with the proposed improvements. The Village intends to seek a *de minimis* impact finding from the Federal Highway Administration (FHWA) based on the project not adversely affecting the features, attributes or activities qualifying the properties for protection under U.S. DOT Section 4(f).
- Use of property (0.17 acres of right-of-way; 0.05 acres of temporary construction easement) from seven historic resources associated with the proposed improvements, including the Old Orland Local Historic District. The Village intends to seek a *de minimis* impact finding from the Federal Highway Administration based on the project not adversely affecting the features, attributes or activities qualifying the properties for protection under U.S. DOT Section 4(f).

You may submit your Comment Form using one of the following methods:

- Print, fill in, scan, sign, and submit via mail.
- Fax to (847) 823-0520 or
- Scan and email to [rhuffman@orlandpark.org](mailto:rhuffman@orlandpark.org)

To be included in the virtual Public Meeting record, please submit comments by Monday, January 11, 2021.

Please check one: ☐ Owner ☐ Resident (Tenant)

Name (Please Print Clearly): \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Comments: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

[www.143rdStreetProject.com](http://www.143rdStreetProject.com)



Attachment F

Public Information Meeting PowerPoint Presentation





ORLAND PARK



Christopher B. Burke Engineering, Ltd.

# 143<sup>RD</sup> STREET IMPROVEMENTS

(WOLF ROAD TO SOUTHWEST HIGHWAY)

PHASE I ENGINEERING STUDY

## Welcome!!!

**The Virtual Project Presentation will begin Shortly**

**While you are waiting, please remember:**

- Participants' videos are turned off
- Participants' microphones are initially muted
- This meeting will be recorded and posted to the Public Meeting webpage
- Questions and comments can be typed in using the Q&A feature
- Typed in questions using the Q&A feature will be answered verbally by the project team following the presentation
- After all typed in questions using the Q&A feature are answered, there will be an opportunity for participant verbal questions and public statements. The project team will provide answers to any questions asked.



ORLAND PARK



Christopher B. Burke Engineering, Ltd.

# 143<sup>RD</sup> STREET IMPROVEMENTS

(WOLF ROAD TO SOUTHWEST HIGHWAY)

PHASE I ENGINEERING STUDY



## AGENDA

1. INTRODUCTIONS & PROJECT TEAM
2. MEETING GUIDELINES
3. HOW TO USE ZOOM
4. 143<sup>RD</sup> STREET EXHIBIT WALK-THROUGH
  - Station 1: Project Overview
  - Station 2: Project Information
  - Station 3: Proposed Improvement Information
  - Station 4: Land Acquisition
  - Station 5: Comment & Question Submittal
5. ZOOM DISCUSSION
  - Written Questions from the Zoom Q&A Box
  - Verbal Statements & Questions



**143rd Street Improvements (Wolf Road to Southwest Highway)**  
**Virtual Public Meeting**

**Welcome!**

The Village of Orland Park welcomes you to the Virtual Public Meeting for the proposed improvements to 143rd Street from Wolf Road to Southwest Highway as part of the Phase I Engineering Study. This website has been created to provide project information and solicit public comments. The virtual meeting will be conducted in an open house format where attendees will have the opportunity to review exhibits, provide input on the proposed improvement plan, and submit questions or comments from December 10, 2020 to January 11, 2021. Interested persons may view the Virtual Public Meeting website at any time. [Please click here for a PDF copy of the project brochure.](#)

**Virtual Project Presentation**  
Dec. 17, 2020 (6p.m.)

A live virtual project presentation (via Zoom) will be held on December 17, 2020 at 6 p.m. to present project materials and provide the opportunity to talk directly to project team and ask questions. The virtual presentation will be recorded and posted to the virtual Public Meeting web page. For those that may not have access to the internet or a microphone on your computer, you may call in to the meeting.

**Virtual Public Meeting**

Below is a series of stations to take you through the project exhibits. Click on the exhibits to open the full-size file in a new window. Once open, you have the ability to zoom in.

[PROJECT OVERVIEW](#) [PROJECT INFO](#) [IMPROVEMENT INFO](#) [LAND ACQUISITION](#) [COMMENT SUBMISSION](#)

**Station 1: Project Overview**



### Orland Park

- Khurshid Hoda – Director | Engineering Programs and Services (pictured)
- Sean Marquez – Village Engineer
- Shannon Gallagher – Management Analyst



### Project Consultants

#### Christopher B. Burke Engineering, Ltd. (Prime Consultant)

- Michael Matkovic – Vice President
- Matt Huffman – Project Manager (pictured)
- Phil Santos – Project Engineer
- Julia Nigohosian – Project Engineer
- David Kleinwachter – Drainage Engineer

Huff & Huff, Inc. (Sub Consultant - Noise Analysis & Special Waste)

Wang Engineering (Sub Consultant - Geotechnical Investigations)

Terra Engineering, Ltd. (Sub Consultant - Traffic Counts)



- **This project presentation will be recorded** for inclusion in meeting documentation and posted to the Virtual Public Meeting webpage
- The presentation is about 25 minutes in length before answering questions and providing a public statement opportunity.
- For everyone to hear, participants not speaking are muted with their video off.
- Questions about the presentation content or about the project can be submitted at any time using the **Q&A DIALOGUE BOX**. These questions will be answered verbally by the project team following the formal presentation.

- We ask that you contact the project team outside of this meeting to discuss any detailed individual questions about your property.
- The best way to contact the project team is to submit a question via the Virtual Public Meeting webpage (bottom of page). This then generates an email to the project team.

The screenshot shows a web browser window with the URL 143rdstreetproject.com. The page has a white background with green accents. On the left, under the heading 'Submit Comment Online', there is a form with the following fields: 'First Name\*' (highlighted with a red border), 'Last Name\*', 'Email Address\*', 'Phone\*', 'Home Address\*', 'Representing', and a large text area labeled 'Type your message here\*'. At the bottom of the form is a green 'Submit' button. On the right side of the page, there is a section titled 'Print Comment Submission Form' with a link 'Click here' to download a printable form. Below this is a 'Questions' section with contact information for the Village of Orland Park, including the Department of Engineering Programs and Services, phone number 708.403.6277, and email cps@orlandpark.org.



- Verbal comments and questions can be made by meeting participants, which will occur later on in the meeting. The **“RAISE HAND”** feature will be used to indicate if you would like to speak. At the appropriate time, you will then be unmuted and allowed to speak.
- Some questions may require further review. If your question is not answered today, a response will be provided after the comment period is closed.
- Please do not hold conversations in the Q&A box, as this will be part of the public meeting record.

Click here to enter full screen view.

Click here to **RAISE HAND**. This will be used to indicate if you would like to make verbal comments or questions, which will be fielded at towards the end of the meeting. Click again to lower hand.

Click here to open the **Q&A DIALOGUE BOX**, which will be utilized throughout the meeting for participants to ask questions and will be answered following the presentation. All meeting participants will be able to see the questions asked by others. Some questions may warrant a response immediately by the project team.

**CHAT** dialogue box will only be used by the project team to communicate with all participants. **CLICK**

When the Chat feature is clicked, it opens along the side.

Zoom Webinar Chat

From Me to All participants  
I accidentally left the meeting. Can you re-make me go-hog?

Join





ORLAND PARK

4 - EXHIBIT WALK THROUGH

# 143<sup>RD</sup> STREET IMPROVEMENTS

## EXHIBIT WALK THROUGH

THE FOLLOWING IS A PRESENTATION OF THE EXHIBITS  
LOCATED ON THE VIRTUAL PUBLIC MEETING WEBPAGE.



Christopher B. Burke Engineering, Ltd.



ORLAND PARK

# STATION 1

## PROJECT OVERVIEW

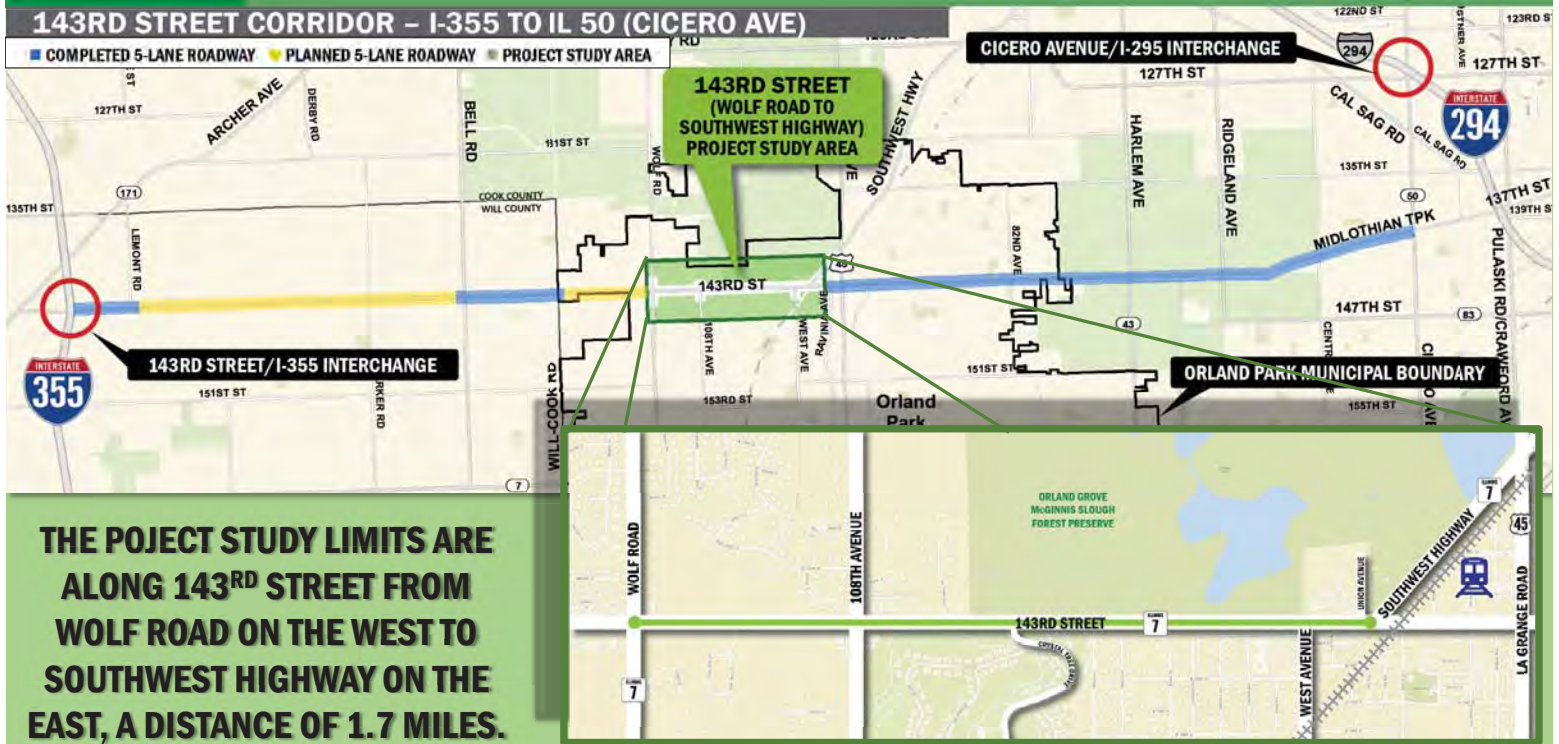


Christopher B. Burke Engineering, Ltd.



143RD STREET CORRIDOR - I-355 TO IL 50 (CICERO AVE)

■ COMPLETED 5-LANE ROADWAY ■ PLANNED 5-LANE ROADWAY ■ PROJECT STUDY AREA



## NEXT STEPS

WE ARE  
HERE

### PHASE I

PRELIMINARY ENGINEERING & ENVIRONMENTAL STUDY  
(TARGETED SPRING 2021 COMPLETION)

### PHASE II

CONTRACT PLAN PREPARATION  
(TYPICALLY PROGRAMMED 18 MONTHS,  
TARGETED MID-2021 INITIATION)

### LAND ACQUISITION

(TYPICALLY PROGRAMMED  
24 MONTHS, TARGETED  
2023/2024 INITIATION)  
[UNFUNDED]

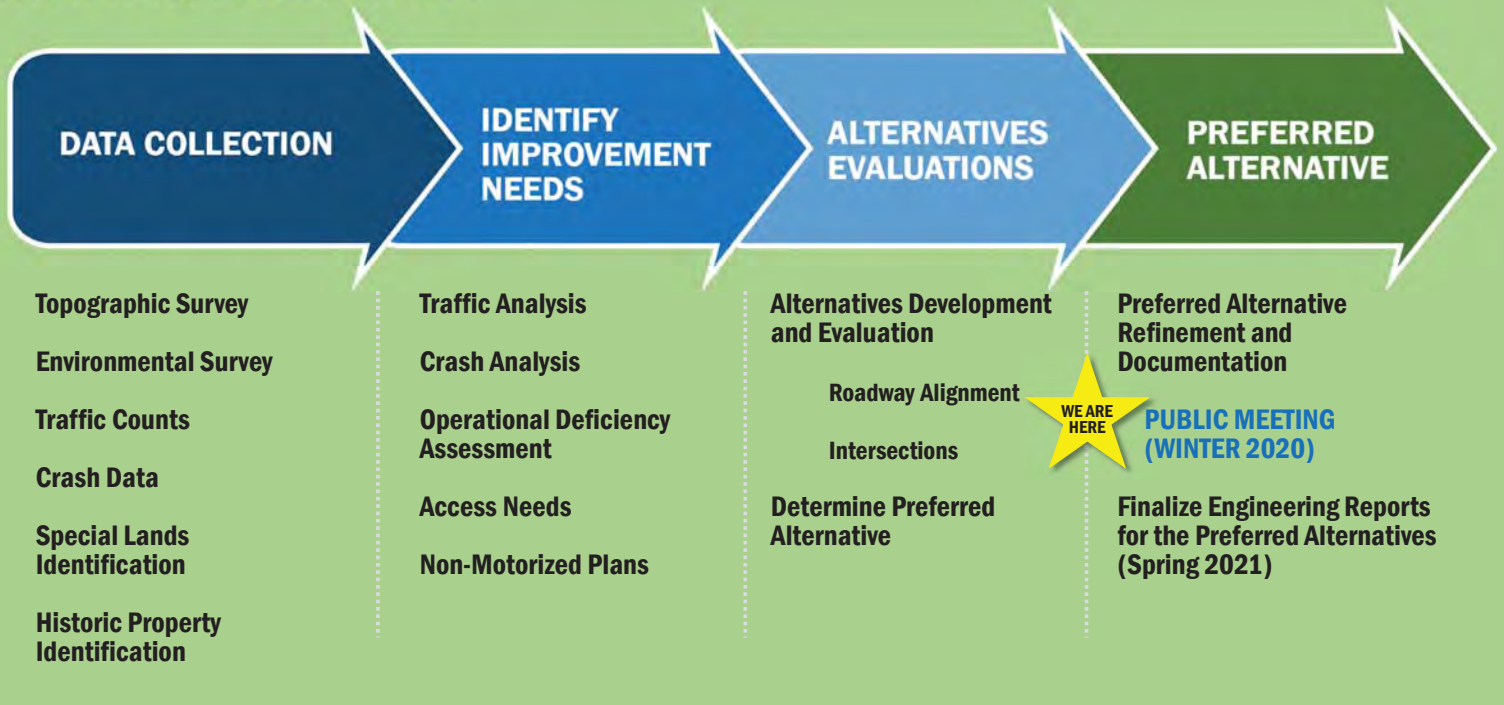
### PHASE III

#### CONSTRUCTION

(TYPICALLY PROGRAMMED 24 MONTHS, SCHEDULE TBD)  
[UNFUNDED]



## WHAT IS A PHASE I STUDY?



ORLAND PARK

## STATION 2

## PROJECT INFORMATION

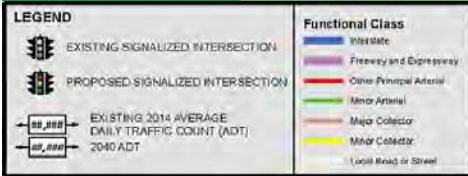


Christopher B. Burke Engineering, Ltd.



# ORLAND PARK 143RD STREET IMPROVEMENTS (WOLF ROAD TO SOUTHWEST HIGHWAY)

## TRAFFIC INFORMATION



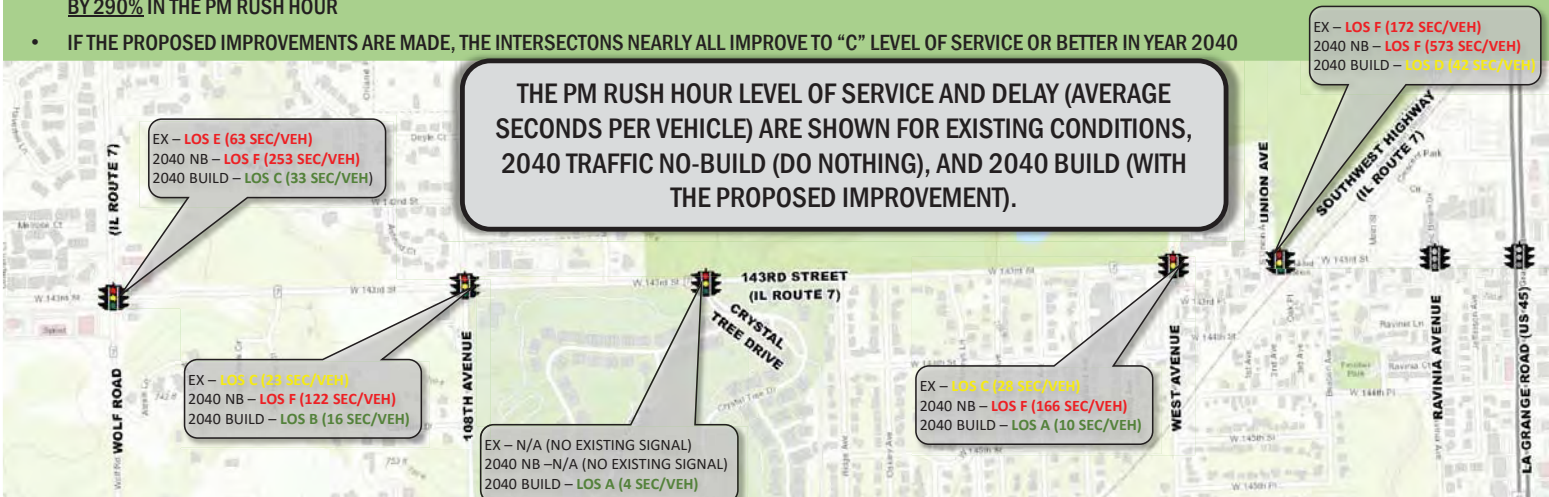
IF NO IMPROVEMENTS ARE MADE BY THE YEAR 2040, TRAFFIC IS PROJECTED TO **INCREASE 58%**

143<sup>rd</sup> STREET FROM WOLF ROAD TO SOUTHWEST HIGHWAY IS UNDER THE MAINTENANCE AND JURISDICTION OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) AND IS MARKED IL ROUTE 7.

# ORLAND PARK 143RD STREET IMPROVEMENTS (WOLF ROAD TO SOUTHWEST HIGHWAY)

## CAPACITY

- CAPACITY IS MEASURED BY LEVEL OF SERVICE (LOS), WHICH IS A LETTER GRADE FROM "A" (BEST) THROUGH "F" (WORST) THAT REPRESENTS THE AVERAGE AMOUNT OF DELAY EXPERIENCED AT AN INTERSECTION. A LOS "C" OR BETTER IS SOUGHT WITH THE PROPOSED IMPROVEMENTS.
- THE INTERSECTIONS WITHIN THE PROJECT AREA CURRENTLY HAVE A "C", "E" OR "F" LEVEL OF SERVICE
- IF NO IMPROVEMENTS ARE MADE BY THE YEAR 2040, ALL INTERSECTIONS ARE PROJECTED TO DECLINE TO AN "F" LEVEL OF SERVICE AND DELAY IS PROJECTED TO **INCREASE BY 290%** IN THE PM RUSH HOUR
- IF THE PROPOSED IMPROVEMENTS ARE MADE, THE INTERSECTIONS NEARLY ALL IMPROVE TO "C" LEVEL OF SERVICE OR BETTER IN YEAR 2040

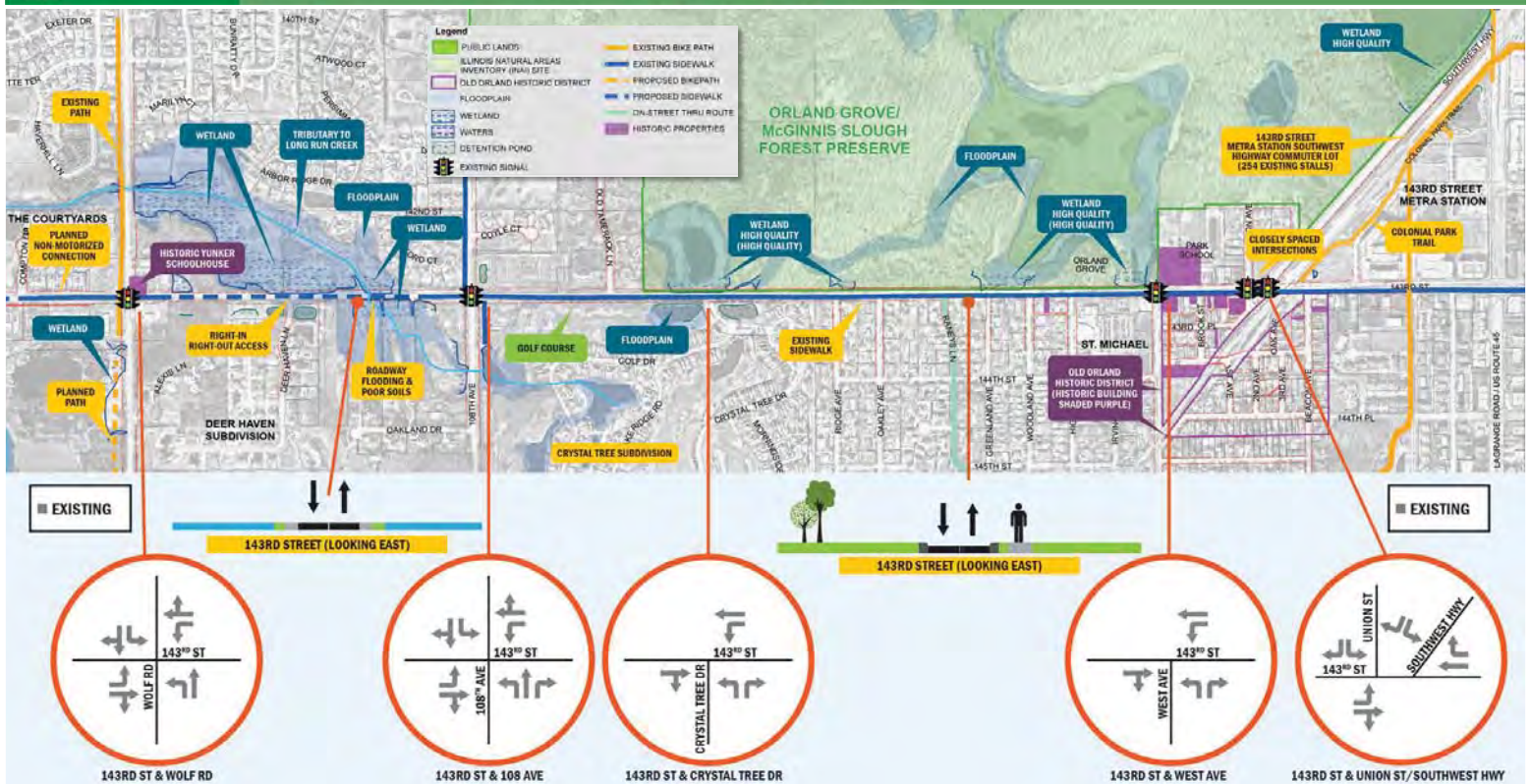
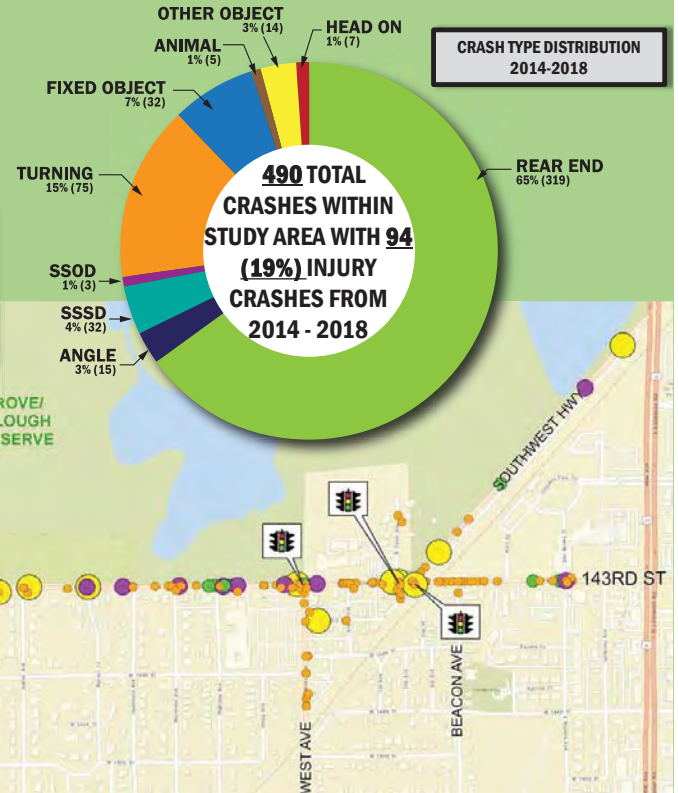




**IF NO IMPROVEMENTS ARE MADE BY THE YEAR 2040, INJURY CRASHES ARE PROJECTED TO INCREASE BY 82%**



BELOW IS A CRASH HEAT MAP DISPLAYING THE LOCATION OF CRASHES THAT OCCURRED FROM 2014 - 2018. THE DIFFERENT COLORS & SIZE REPRESENT THE CRASH SEVERITY (SEE LEGEND)







ORLAND PARK

## STATION 3

# PROPOSED IMPROVEMENT INFORMATION



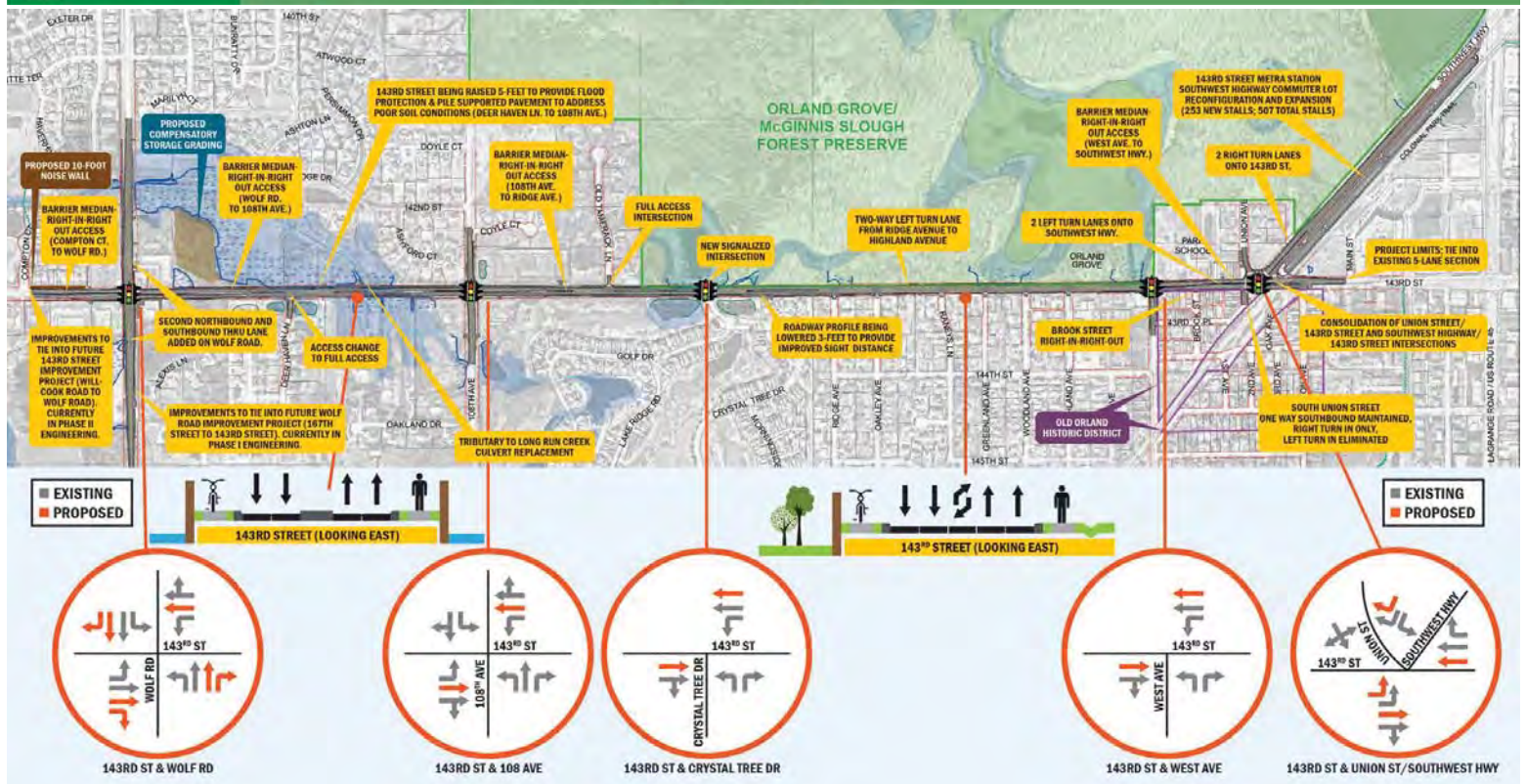
Christopher B. Burke Engineering, Ltd.



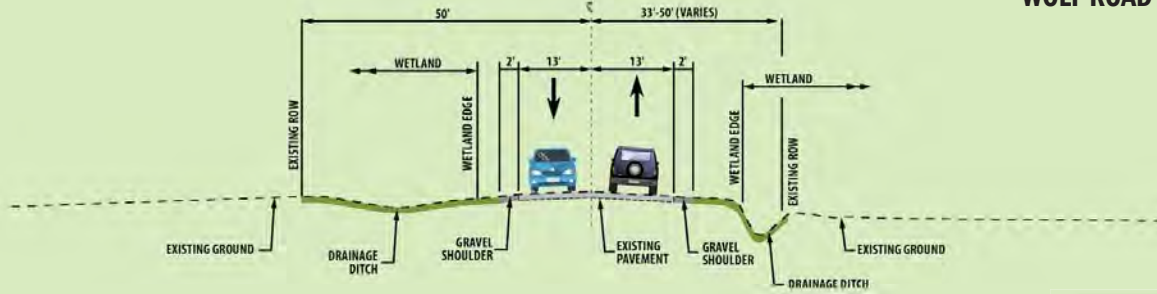
ORLAND PARK

143RD STREET IMPROVEMENTS (WOLF ROAD TO SOUTHWEST HIGHWAY)

OVERALL PROPOSED IMPROVEMENTS

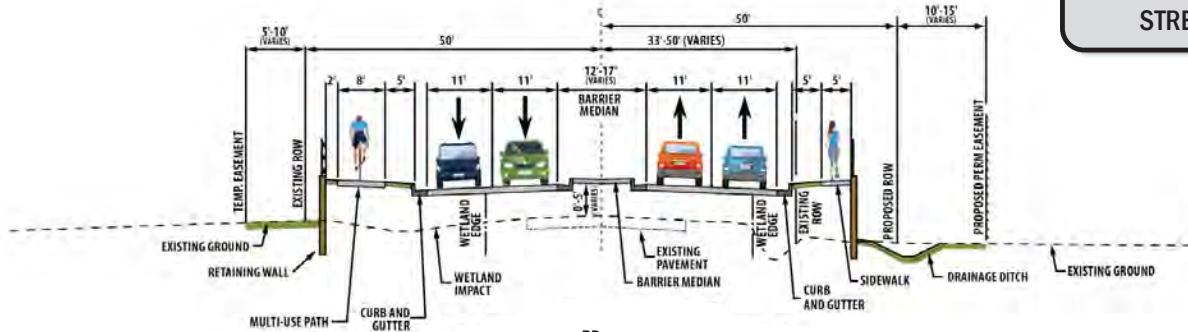




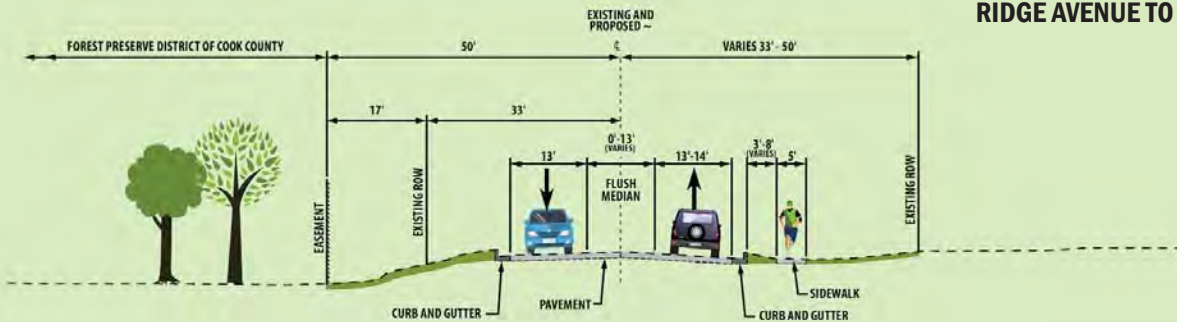


**143<sup>RD</sup> STREET  
EXISTING TYPICAL SECTION (WOLF ROAD TO 108TH AVENUE)**

LOOKING EAST  
ALONG 143<sup>RD</sup>  
STREET

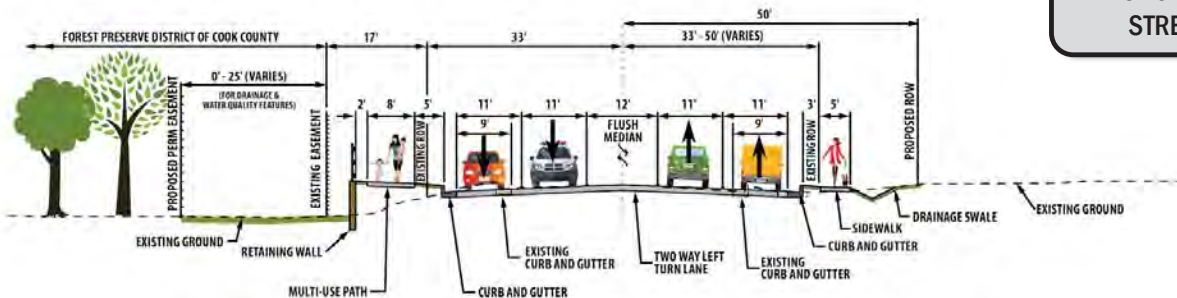


**143<sup>RD</sup> STREET  
PROPOSED TYPICAL SECTION (WOLF ROAD TO 108TH AVENUE)**



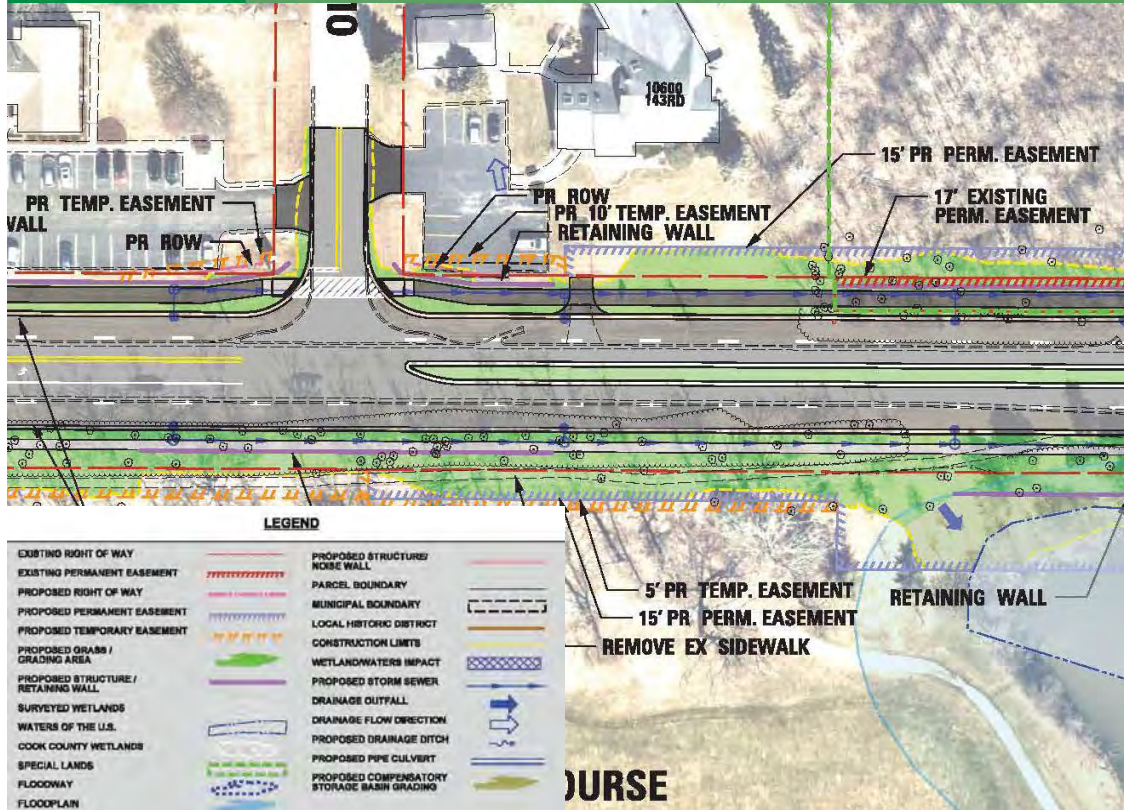
**143<sup>RD</sup> STREET  
EXISTING TYPICAL SECTION (RIDGE AVENUE TO WEST AVENUE)**

LOOKING EAST  
ALONG 143<sup>RD</sup>  
STREET



**143<sup>RD</sup> STREET  
PROPOSED TYPICAL SECTION (RIDGE AVENUE TO WEST AVENUE)**





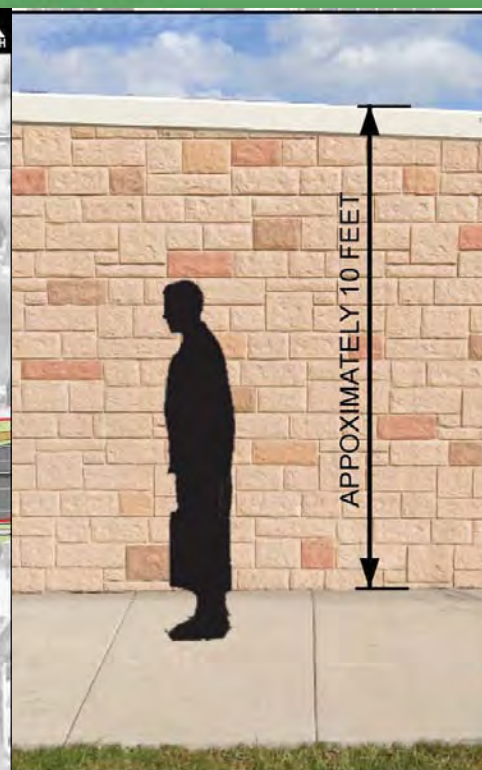
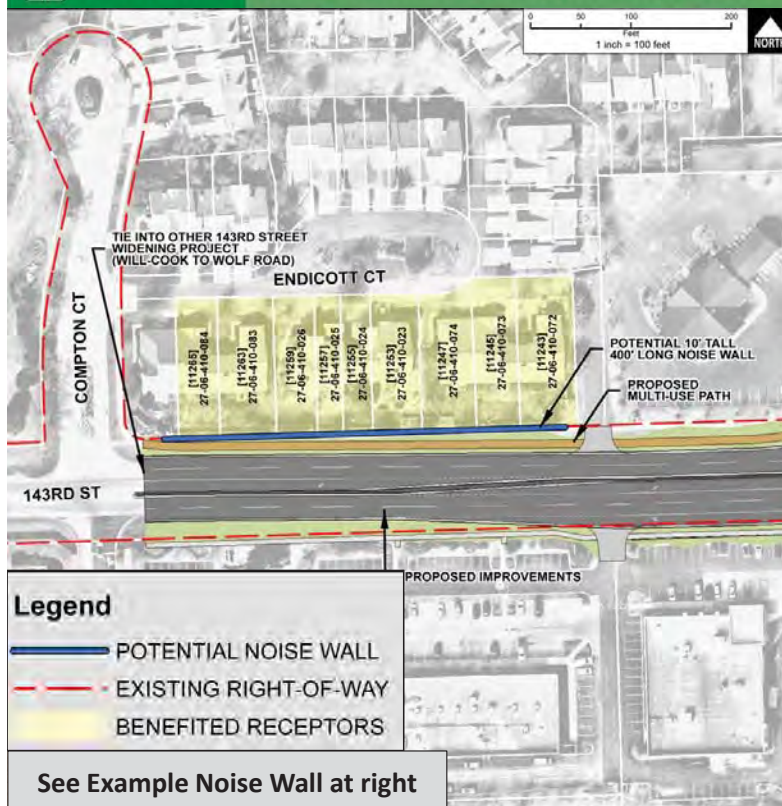
**DETAILED PROPOSED IMPROVEMENT EXHIBITS ARE LOCATED ON THE PUBLIC MEETING WEBSITE FOR REVIEW**

PICTURED IS A SAMPLE FROM A PROPOSED IMPROVEMENT EXHIBIT AT THE OLD TAMERACK LANE INTERSECTION.

KEY FEATURES TO NOTE:

- LEGENDS ARE PROVIDED ON ALL EXHIBITS
- EXISTING RIGHT-OF-WAY PROPOSED RIGHT-OF-WAY
- PROPOSED PERMANENT EASEMENT
- PROPOSED TEMPORARY EASEMENT
- RETAINING WALLS
- MEDIAN TYPE (FLUSH OR BARRIER)
- BIKE PATH & SIDEWALK
- CONSTRUCTION LIMIT
- DRAINAGE ELEMENTS

THE PROJECT TEAM IS SEEKING COMMENTS ON THE PROPOSED DESIGN.



EXAMPLE NOISE WALL

A TRAFFIC NOISE ANALYSIS WAS PERFORMED FOR THE ENTIRE PROJECT STUDY AREA. A NOISE WALL IS PROPOSED AT 1 LOCATION BASED ON IDOT AND FEDERAL NOISE POLICY AND PROCEDURES.

A 10-FOOT WALL IS PROPOSED ALONG THE NORTH SIDE OF 143<sup>RD</sup> STREET, EAST OF WOLF ROAD. (MATERIAL TO BE DETERMINED DURING PHASE II ENGINEERING)





ORLAND PARK

## STATION 4

# LAND ACQUISITION



Christopher B. Burke Engineering, Ltd.



ORLAND PARK

143RD STREET IMPROVEMENTS (WOLF ROAD TO SOUTHWEST HIGHWAY)

## LAND ACQUISITION

### 3 TYPES OF LAND ACQUISITION

#### FEE SIMPLE ACQUISITION –

or the acquisition of all rights and interest of real property (i.e. right-of-way)

#### PERMANENT EASEMENTS –

where underlying ownership is retained by the property owner, but access is permanently allowed during and after construction for maintenance of facilities such as drainage structures.

#### TEMPORARY EASEMENTS –

where underlying ownership is retained by the property owner but access is temporarily allowed only during construction for items such as grading work, driveway construction, and other minor improvements.

Land acquisition is required for this project from a total of **81 properties**. It includes Fee Simple acquisition of **2.77 acres from 46 properties**, Permanent Easement of **6.11 acres from 37 properties**, and Temporary Easement of **9.00 acres from 71 properties**. The land acquisition process will follow the Federal Uniform Relocation Assistance and Real Property Acquisition Act. The Village can begin the land acquisition process for the project once funding is identified and is targeted for 2023/2024.

### LAND ACQUISITION PROCESS

The land acquisition process involves the following steps:

1. The ownership of the property is confirmed;
2. A plat of survey drawing is prepared to show the dimensions and amount of property that is being acquired;
3. An independent appraisal is made to determine the fair market value of the property to be acquired;
4. Negotiations begin with an offer to acquire the necessary property at the appraised value;
5. If a settlement cannot be reached, the matter is referred to the courts for acquisition under the law of eminent domain, in which property owners are compensated fair market value for the acquired property.







ORLAND PARK

## 143RD STREET IMPROVEMENTS (WOLF ROAD TO SOUTHWEST HIGHWAY)

## FOREST PRESERVE IMPACTS

### Legend

- FOREST PRESERVE/SPECIAL LANDS
- EXISTING RIGHT-OF-WAY
- EXISTING PERMANENT EASEMENT
- PROPOSED RIGHT-OF-WAY
- PROPOSED PERMANENT EASEMENT
- PROPOSED TEMPORARY EASEMENT
- POTENTIAL BMP OPPORTUNITY AREA
- WETLAND
- WATERS OF THE U.S. (WOU)
- DETENTION POND
- ILLINOIS NATURAL AREAS INVENTORY (INAI) SITE
- EXISTING PROPERTY BOUNDARY
- EXISTING OUTLET (APPROXIMATE LOCATION)
- PROPOSED OUTLET (APPROXIMATE LOCATION)
- ABANDONED OUTLET

1) BMP = BEST MANAGEMENT PRACTICE  
NOTE: INAI SITES ARE FROM IDNR, INPC, IL ENDANGERED SPECIES PROTECTION BOARD, AND INHD (DATED 07/22/2020)

### ANTICIPATED TREE REMOVAL WITHIN PROPOSED FOREST PRESERVE EASEMENTS

NOTE: FOR THE FOREST PRESERVE EASEMENT, TREE REMOVAL IS ANTICIPATED WITHIN THE PROPOSED EASEMENT AREA VERTICALLY TO THE BOUNDARY.

EASEMENT AREA #1	QUANTITY	EASEMENT AREA #2B	QUANTITY	EASEMENT AREA #4	QUANTITY	EASEMENT AREA #6	QUANTITY
American elm	5	American elm	2	American elm	2	Black walnut	1
Box elder	1	Black locust	2	Black cherry	1	Shagbark hickory	1
Black locust	2	Bur oak	6	Black walnut	2	TOTAL	2
Black walnut	2	Shagbark hickory	1	Gum ash	3	EASEMENT AREA #7	QUANTITY
Green ash	2	TOTAL	11	Sherr maple	4	American elm	2
				White mulberry	3	Bur oak	2
				TOTAL	15	Common hackberry	1
						Shagbark hickory	1
						White oak	1
						TOTAL	8

### WETLAND / WATERS SUMMARY

ID	FQ	C-VALUE	TOTAL ACREAGE	IMPACT ACREAGE WITHIN PROPOSED EASEMENT (AC)
10	27.1	3.0	3.33*	0.06
15	14.7	2.2	3.05*	NO IMPACT
W10	N/A	N/A	0.06	0.02

IN TOTAL ACREAGE EXTENDS BEYOND STUDY AREA LIMITS AND WAS NOT DETERMINED. SEE SHEETS C-1 TO C-4 FOR DETAILS.

ANTICIPATED TREE REMOVAL GRAND TOTAL = 61



\* Under Section 4(f) of the U.S. DOT Act of 1966, the de minimis impact means that there are no adverse effects to the activities, features, or attributes qualifying a park, recreational area, wildlife and waterfowl refuge, or public and private historical site for protection – this is after taking into account avoidance, minimization, mitigation and enhancement measures.

The Village of Orland Park is seeking public comments on the use of the Forest Preserve property (McGinnis Slough) at seven general locations, including a total of 0.51 acres of permanent easements & 0.15 acres of temporary construction easements.

The McGinnis Slough Forest Preserve property is owned and operated by the Forest Preserve District of Cook County and is protected by Section 4(f) of the U.S. Department of Transportation Act of 1966. The Village intends to seek a de minimis\* impact finding from the Federal Highway Administration (FHWA) based on the project not adversely affecting the features, attributes, or activities qualifying the properties for protection under U.S. Department of Transportation Section 4(f).



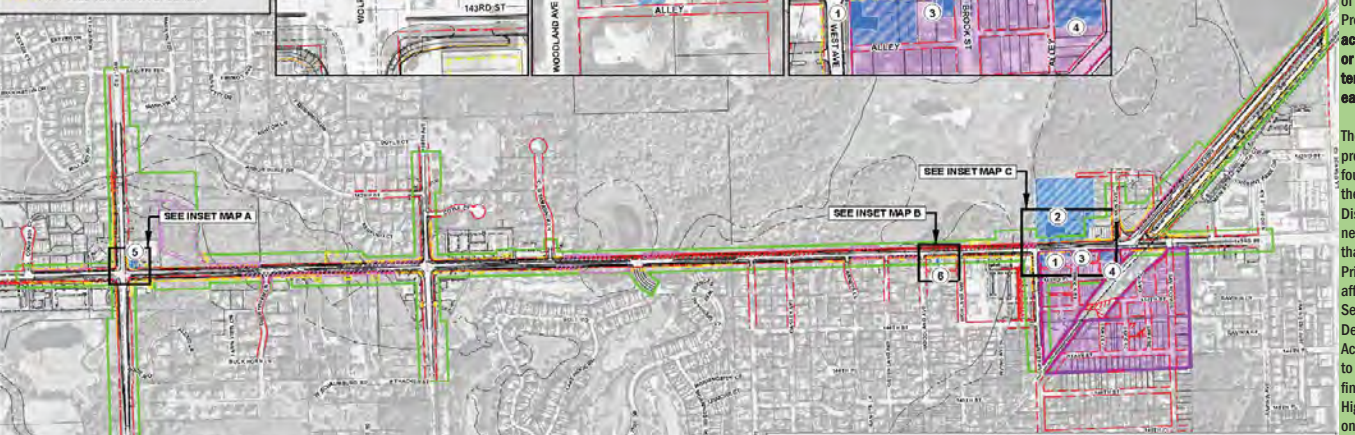
ORLAND PARK

## 143RD STREET IMPROVEMENTS (WOLF ROAD TO SOUTHWEST HIGHWAY)

## HISTORIC PROPERTY IMPACTS

### Legend

- POTENTIALLY AFFECTED HISTORIC RESOURCES
- OLD ORLAND HISTORIC DISTRICT
- EXISTING PROPERTY BOUNDARY
- PROJECT STUDY AREA
- EXISTING RIGHT-OF-WAY
- EXISTING PERMANENT EASEMENT
- PROPOSED RIGHT-OF-WAY
- PROPOSED PERMANENT EASEMENT
- PROPOSED TEMPORARY EASEMENT



The Village of Orland Park is seeking public comments on the use of the property from seven private historic sites, including the local Old Orland Historic District afforded protections under Section 106 of the National Historic Preservation Act. A total of 0.17 acres of permanent easements or right-of-way & 0.05 acres of temporary construction easements.

There are 6 private historic properties with proposed use, four of which are located within the local Old Orland Historic District, one that is located near Woodland Avenue and one that is located at Wolf Road. Private historic properties are afforded certain protections by Section 4(f) of the U.S. Department of Transportation Act of 1966. The Village intends to seek a de minimis\* impact finding from the Federal Highway Administration based on the project not adversely affecting the features, attributes, or activities qualifying the properties for protection under U.S. Department of Transportation Section 4(f).

### OLD ORLAND HISTORIC DISTRICT IMPACT SUMMARY TABLE

Address/Location	Proposed Temporary Easement		Proposed Right-of-Way Acquisition
	Acres	Square Feet	
See table above	0.014	666	0.002
143rd W, 143rd St	0.004	247	0.001
143rd W, 143rd St	0.002	79	0.001
C, E, A and C.S. and C.P. and C.S.			

OLD ORLAND HISTORIC DISTRICT TOTAL

### HISTORIC SITES 1-6 IMPACT SUMMARY TABLE

Address/Location	Proposed Temporary Easement		Proposed Right-of-Way Acquisition	
	Acres	Square Feet	Acres	Square Feet
1. W. 143rd St. (in Historic District)	0.014	666	0.014	625
2. W. 143rd St.	0.005	200	0.114	4,963
3. W. 143rd St. (in Historic District)	0	0	0.005	211
4. 143rd Street Ave. (in Historic District)	0	0	0.005	204
5. W. 143rd St.	0.022	867	0.003	941
6. W. 143rd St.	0.006	277	0.005	208
<b>SITES 1-6 TOTALS</b>	<b>0.047</b>	<b>2,027</b>	<b>0.147</b>	<b>5,939</b>

\* Under Section 4(f) of the U.S. DOT Act of 1966, the de minimis impact means that there are no adverse effects to the activities, features, or attributes qualifying a park, recreational area, wildlife and waterfowl refuge, or public and private historical site for protection – this is after taking into account avoidance, minimization, mitigation and enhancement measures.





# ORLAND PARK

## STATION 5

# COMMENT & QUESTION SUBMITTAL



Christopher B. Burke Engineering, Ltd.



ORLAND PARK

143RD STREET IMPROVEMENTS (WOLF ROAD TO SOUTHWEST HIGHWAY)

## WAYS TO COMMENT

### VIRTUAL PUBLIC MEETING COMMENT FORM

The Village of Orland Park is conducting a Virtual Public Meeting related with the 143rd Street Phase I Preliminary Engineering and Environmental Study. The 143rd Street study area is from Wolf Road on the west to Southwest Highway on the east, a distance of 1.7 miles.

This meeting is an opportunity for you to provide comments on the:

- **Proposed Improvements** for 143rd Street (Wolf Road to Southwest Highway)
- **Use of property (0.51 acres of permanent easement; 0.15 acres of temporary construction easement) from the McGinnis Slough Forest Preserve** associated with the proposed improvements. The Village intends to seek a *de minimis* impact finding from the Federal Highway Administration (FHWA) based on the project not adversely affecting the features, attributes or activities qualifying the properties for protection under U.S. DOT Section 4(f).
- **Use of property (0.17 acres of right-of-way; 0.05 acres of temporary construction easement) from seven historic resources** associated with the proposed improvements, including the Old Orland Local Historic District. The Village intends to seek a *de minimis* impact finding from the Federal Highway Administration based on the project not adversely affecting the features, attributes or activities qualifying the properties for protection under U.S. DOT Section 4(f).

### WAYS TO COMMENT:

- Visit the Virtual Public Meeting web page **[www.143rdStreetProject.com](http://www.143rdStreetProject.com)** and submit comment electronically;
- Visit the Virtual Public Meeting web page to download a Comment Form and Submit (mail, email, fax, or drop off at Village Hall);
- During Virtual Public Meeting (December 17th, 2020 at 6pm)

**To be included in the virtual Public Meeting record, please submit comments by Monday, January 11, 2021.**







### Q&A DIALOGUE BOX

Type your question here. Some questions may be responded to by the project team immediately. Others will be held until the presentation is over for the project team to verbally answer.

Click here to **RAISE HAND**. This will be used to indicate if you would like to make verbal comments or questions, which will be fielded at towards the end of the meeting. Click again to lower hand.

Click here to open the **Q&A DIALOGUE BOX**, which will be utilized throughout the meeting for participants to ask questions, which will be answered following the presentation. All meeting participants will be able to see the questions asked.

<b>You asked:</b> What happens when I raise my hand?	18:03
<b>Molly Parker answered:</b> I can take you off of mute.	18:04
Please input your question	
<input type="checkbox"/> Send Anonymously	<input type="button" value="Send"/>



## ZOOM DISCUSSION

### Q&A

1. Please finish typing your questions in the Q&A dialogue box (3-minute break)
  - All attendees will be able to see other participants questions.
  - You can give a “Thumbs Up” if you agree with another participant’s question. We will try to answer the questions asked during the presentation first.
2. We request that if you have a question pertaining your property, that you contact the project team to setup a time to discuss 1-on-1.

If you would like to verbally speak please “RAISE HAND” to be added to the participant speaker list.  
Verbal comments and questions will be fielded following.





ORLAND PARK

5 - ZOOM DISCUSSION

## ZOOM DISCUSSION

### VERBAL QUESTIONS and COMMENTS

#### 1. Please **"RAISE HAND"** to be added to the participant speaker list

- If a meeting attendee is calling by telephone without using the Zoom Meeting app, the "Raise Hand" option can be controlled by entering \*9 on your phone's dial pad.

#### 2. Participants will be unmuted one at a time, so everyone has the opportunity to speak and be heard:

- All participants are encouraged to ask questions and make comments as it relates to the 143<sup>rd</sup> Street Project.
- Public statements will be limited to 30 seconds to provide everyone the chance to speak.
- Be courteous to fellow participants, even if their opinion may differ from yours.
- Non-courteous participants can be dismissed from the meeting.



ORLAND PARK

143RD STREET IMPROVEMENTS (WOLF ROAD TO SOUTHWEST HIGHWAY)

WAYS TO COMMENT

#### WAYS TO COMMENT:

- Visit the Virtual Public Meeting web page  
**[www.143rdStreetProject.com](http://www.143rdStreetProject.com)** and submit comment electronically;
- Visit the Virtual Public Meeting web page to download a Comment Form and Submit (mail, email, fax, or drop off at Village Hall);

**To be included in the virtual Public Meeting record,  
please submit comments by Monday, January 11, 2021.**

#### ELECTRONIC

#### COMMENT FORM

**For any questions, you can reach out to:**

Department of Engineering Programs Services at  
708-403-6277 or [eps@orlandpark.org](mailto:eps@orlandpark.org)



Attachment G

Public Information Meeting Chat Box Questions and Comments



## QUESTIONS

Name: **Michael Leahy**

Q: Is West Avenue going to be widened at the 143<sup>rd</sup> Street intersection?

Q: Our business is on the southwest corner of 143rd and West avenue. We have an entrance on 143rd street and one on West Avenue. Will at least one of those entrances be accessible at all times during the construction?

Q: Where in the process does the extra easement you need get approved or purchased?

Q: Is the Wolf to S.W. Highway phase to be started physically started first?

Name: **Lou Mule**

Q: What environmental surveys did you conduct and where are the results of that survey available for public review?

Q: You mentioned that \$56M is total cost of project - what % does the Village & IDOT share and are there any other sources of funding, either in kind or other public or private sources for this?

Q: When property is taken for this project, what is the method used for compensation? Fair market value, private negotiation, etc.?

Q: Is there any water quality impact study planned for the runoff into Long Run Creek or nearby wetlands?

Q: Why are the Village owned public lands not fully identified here?

Q: What is the cost of the removal of the fill (grading) to bring the site into storage levels?

Q: How do you get to the project website?

Name: **Jamison Cullen**

Q: The site is a natural area already - so how can you claim you will turn this site into a new natural area that is a wetland? What is your mitigation and compensation plan for the loss of this natural area if actually executed?

Q: How do we contact the project team for 1 on 1 questions?

Name: **Dillon Olson**

Q: Will the answers to all other questions be posted for public review?



## STATEMENTS

Name: **Lelo Delair**

S: Water drainage around 143/wolf in last 50 years.

Name: **Dillion Olson**

S: The wetlands next to that storage site are also village owned (east of it)

Name: **Bob Sullivan**

S: Please comment on reducing lane width.

S: Please clarify if a flush median is proposed between Highland and West, or if a barrier median is planned.

Name: **Lou Mule**

S: That compensatory storage area is now a hill with old oaks - this is public open lands.

S: The Overall Proposed Improvements exhibit indicates a two-way left turn lane from Ridge to Highland. The Proposed Typical sections indicate a two-way left turn lane from Ridge to West.

Name: **Jane Turley**

S: Please explain what will be the impact of the "proposed compensatory storage grading", shown at the northeast corner of 143rd Street and Wolf Road, on the existing 4 acre 20' tall hill covered with mature Oak Trees that is a part of Open Lands.

Name: **Bryan Edwards**

S: Based upon your presentation, I will amend my question sent at 6:12 to reducing lane width by one foot from what is currently proposed.



Attachment H

Written Comments





ORLAND  
PARK

# 143<sup>RD</sup> STREET IMPROVEMENTS WOLF ROAD TO SOUTHWEST HIGHWAY

## PHASE I ENGINEERING STUDY

### VIRTUAL PUBLIC MEETING COMMENT FORM

The Village of Orland Park is conducting a Virtual Public Meeting related with the 143rd Street Phase I Preliminary Engineering and Environmental Study. The 143rd Street study area is from Wolf Road on the west to Southwest Highway on the east, a distance of 1.7 miles.

Your input is valuable and the Village is committed to including stakeholders in the development of the project. A Virtual Public Meeting is being held from December 10, 2020 to January 11, 2021, where project information is provided on a Virtual Public Meeting web page. A live virtual project presentation will be held on December 17, 2020 at 6pm, which will be recorded and posted to the Virtual Public Meeting web page. You can visit the Virtual Public Meeting web page [www.143rdStreetProject.com](http://www.143rdStreetProject.com) for project information. You can either download this form or submit a comment directly through the Virtual Public Meeting web page.

This meeting is an opportunity for you to provide comments on the:

- Proposed Improvements for 143rd Street (Wolf Road to Southwest Highway)
- Use of property (0.51 acres of permanent easement; 0.15 acres of temporary construction easement) from the McGinnis Slough Forest Preserve associated with the proposed improvements. The Village intends to seek a *de minimis* impact finding from the Federal Highway Administration (FHWA) based on the project not adversely affecting the features, attributes or activities qualifying the properties for protection under U.S. DOT Section 4(f).
- Use of property (0.17 acres of right-of-way; 0.05 acres of temporary construction easement) from seven historic resources associated with the proposed improvements, including the Old Orland Local Historic District. The Village intends to seek a *de minimis* impact finding from the Federal Highway Administration based on the project not adversely affecting the features, attributes or activities qualifying the properties for protection under U.S. DOT Section 4(f).

You may submit your Comment Form using one of the following methods:

- a) Fold in thirds, tape shut, and submit via mail;
- b) Fax to (847) 823-0520; or
- c) Scan and e-mail to [mhuffman@cbbel.com](mailto:mhuffman@cbbel.com)

To be included in the virtual Public Meeting record, please submit comments by Monday, January 11, 2021.

Please check one: ☒ Owner ☐ Resident (Tenant)

Name (Please Print Clearly):

Mailing Address:

Phone:

Email:

Comments:

CONCERNED ABOUT PIERCE AT BOTTOM  
by driveway / entrance



**From:** [REDACTED]  
**To:** [eps@orlandpark.org](mailto:eps@orlandpark.org); [Matthew Huffman](#)  
**Subject:** [143rd St Public Meet] Online Comments - new submission  
**Date:** Thursday, December 17, 2020 7:23:29 PM

---

[REDACTED] just submitted your form: Online Comments  
on [143rd St Public Meet](#)

**Message Details:**

First Name\*: [REDACTED]

Last Name\*: [REDACTED]

Phone\*: [REDACTED]

Email Address\*: [REDACTED]

Home Address\*: [REDACTED]

Representing: [REDACTED]

[REDACTED]

Type your message here\*: I am concerned with the narrowing of the 9'6" sidewalk on the west side of West avenue at 143rd street. There is very little "cushion" right now to ensure that drivers turning onto south West avenue do not hit our building. Losing 1.5 to 2 feet of that cushion could create an added danger. Can someone please call me regarding this? [REDACTED]

---

To edit your email settings, go to your Inbox on desktop.





**From:** [REDACTED]  
**To:** [eps@oriandpark.org](mailto:eps@oriandpark.org); [Matthew Huffman](#)  
**Subject:** [143rd St Public Meet] Online Comments - new submission  
**Date:** Thursday, December 17, 2020 6:11:11 PM

---

[REDACTED] just submitted your form: Online Comments  
on [143rd St Public Meet](#)

**Message Details:**

First Name\*: [REDACTED]

Last Name\*: [REDACTED]

Phone\*: [REDACTED]

Email Address\*: [REDACTED]

Home Address\*: [REDACTED]

Representing: -

Type your message here\*: I am curious how this project will impact my property at the corner of 143rd and Greenland. If you could please let me know I would appreciate it. Thank you.

---

To edit your email settings, go to your Inbox on desktop.





**From:** [REDACTED]  
**Subject:** [REDACTED]; [eps@orlandpark.org](mailto:eps@orlandpark.org)  
**Date:** [143rd St Public Meet] Online Comments - new submission  
Friday, December 18, 2020 3:20:03 PM

---

[REDACTED] just submitted your form: Online Comments  
on [143rd St Public Meet](#)

**Message Details:**

First Name\*: [REDACTED]

Last Name\*: [REDACTED]

Phone\*: [REDACTED]

Email Address\*: [REDACTED]

Home Address\*: [REDACTED]

Representing: -

Type your message here\*: Comments for 143rd Street Widening Project  
Public Hearing 12-17-2020 [REDACTED]

[REDACTED]

[REDACTED]

[REDACTED] We  
also happen to live 3 blocks from the widening project. We are primarily  
concerned with the location chosen for this State project's  
compensatory storage of storm water. It is a Village Open Lands parcel  
that was purchased to preserve a hill covered with native oak trees that  
are a century old, as well as wetlands and headwaters of Long Run  
Creek. The hill and oak trees would all be destroyed to create a  
depression for compensatory storage. Once land is purchased for Open  
Lands, it is logically assumed that that land will remain preserved.  
Residents who have contributed to those land purchases with both tax  
revenue and donations are certainly assuming that. The Open Lands



Articles of Incorporation state that its purpose is, among other things, to acquire lands of ecological value “and either to maintain the land itself and preserve it in (or convert it to) a natural state, or to hold and preserve the land until arrangements can be made to transfer title to the land to a governmental agency for conservation purposes”. In other words, this preserved land should have never been considered an option for compensatory storage since it will not preserve the land in a natural state and if transferred to the State will not be used for conservation purposes. Once one preserved property is given away and destroyed, every other Open Lands property becomes fair game for the next project of the moment. The State needs to find another solution for its compensatory storage. It is also disappointing that the project exhibit does not indicate that the proposed compensatory storage is on public preserved land, and it is disappointing that discussion regarding use of this land did not include the Open Lands Fund Commission. Lack of communication has resulted in wasting time and money on an option that is not available. Orland Park’s quality of life is largely defined by its beautiful open spaces and nature. This is a result of a value system that the Village has supported for many years, and of the hard work of many people over many years. This is no time to ignore these values. The State needs to solve its compensatory storage issues without destroying Orland Park’s beautiful and valuable natural resources.

[REDACTED]

[REDACTED]



**From:** [REDACTED]  
**Subject:** [eps@oriandpark.org](mailto:eps@oriandpark.org); Matthew Huffman  
**Date:** [143rd St Public Meet] Online Comments - new submission  
Friday, December 18, 2020 9:37:36 AM

---

[REDACTED] just submitted your form: Online Comments  
on [143rd St Public Meet](#)

**Message Details:**

First Name\*: [REDACTED]

Last Name\*: [REDACTED]

Phone\*: [REDACTED]

Email Address\*: [REDACTED]

Home Address\*: [REDACTED]

Representing: Concerned citizen

Type your message here\*: 143rd Street Widening Public Hearing  
comments 12.17.2020 R.E: Proposed destruction of the Open Lands  
Oak Tree Grove located near the northeast corner of 143rd Street and  
Wolf Road (11100 West 143rd Street for storm water purposes) My  
name is [REDACTED] and [REDACTED]

[REDACTED]  
[REDACTED]. However I am here tonight as  
a concerned citizen. I am very disappointed to see IDOT and the  
Village, as a part of this widening, propose the destruction of a beautiful  
4+ acre hill covered with 100 year old Oak Trees that is a part of the  
Open Lands Program. The land is shown on tonight's exhibits as  
'proposed Compensatory Storage grading'. As explained during the  
December 17th public hearing, this would require the visually shocking  
complete razing and excavation of the 20' tall hill in order to  
compensate for additional storm water created by the proposed 143rd



Street widening and presumably to meet the project's need for fill. It is unacceptable to destroy this property when there are other options for detention that could and should be pursued. When private developers come into the Village and want to develop land, they are expected to provide storm water detention for their development at their own expense and on their own development site. Orland Park should require no less of themselves when developing property. The parcel in question was purchased in 2014 with money from the Open Lands Corporation Fund account. The purchase was approved by Village Board Ordinance, and fully documented in Open Lands Financial records. Although the Village serves as the Corporation's financial agent, and the Village owns the land because it is best equipped to manage and maintain the preservation of the land, that does not remove the legal and moral obligation to use the donated money for its stated purpose. Through the years Village residents and businesses have faithfully participated in fundraisers and donated money to the Open Lands program, trusting that the Village would indeed use it for the preservation of Open Lands. The current proposal is the total destruction of what makes this land unique and valuable to Open Lands. The creation of a new wetland pond in its place in no way compensates for the loss of the highly visible 100 year old Oak Tree Grove. It is a violation of the public trust to take donation money from people and then not use it for the expressed preservation purposes. Open Lands Corporation Fund, a state regulated 501 c3 nonprofit The Open Lands Corporation Fund and Commission were created in the mid-nineties by the Village Board in order to protect and preserve open lands in the quickly developing suburb. It was backed up by a voter approved 20 million referendum bond, and over 300 acres of treasured open space such as the Nature Center, three historic farms, and West



Centennial Park, and many others, were purchased and protected. The Open Lands Corporation Fund, a state regulated 501 c3 non-profit, was created to receive donations, assuring contributors that their donated money would be used for the stated preservation purposes. The Open Lands Corporation Articles of Incorporation, filed with the State of Illinois Secretary of State when the nonprofit organization was created, states in part that the purpose of the Corporation is to "to acquire land of ecological significance or natural beauty and preserve it in its natural state". The 4 acre parcel is significant because it is visually stunning and represents a small piece of the gradually vanishing Oak Groves that were once common in area. The Village Orland Park has historically been a strong advocate for the protection of all of the wonderful green spaces that help make Orland Park unique and special and such a great place to live, as expressed in the Comprehensive Plan. I respectfully request that the the Village continues this tradition and finds an alternative way to accommodate the storm water impact of the 143rd Street widening. Thank you for your consideration.

---

To edit your email settings, go to your Inbox on desktop.





**From:** [REDACTED]  
**To:** [Matthew Huffman; eps@orlandpark.org](mailto:Matthew.Huffman@orlandpark.org)  
**Subject:** [143rd St Public Meet] Online Comments - new submission  
**Date:** Monday, December 21, 2020 5:31:37 PM

---

[REDACTED] just submitted your form: Online Comments  
on [143rd St Public Meet](#)

**Message Details:**

First Name\*: [REDACTED]

Last Name\*: [REDACTED]

Phone\*: [REDACTED]

Email Address\*: [REDACTED]

Home Address\*: [REDACTED]

Representing: -

Type your message here\*: I am writing to express my opposition of the Village Open Lands parcel being used for a depression for compensatory storage. I have lived in Orland Park since 1981. My husband has lived here his entire life. We have supported the Open Lands project with our tax rebate from the Village. We were happy to have the opportunity to do so. Not once did it occur to us that the purchases made by the commission would be temporary until the State needed the land for something else. The State needs to solve its compensatory storage issues without the destruction of preserved land. The idea that the discussion regarding use of this land did not include the Open Lands Fund Commission seems very wrong. [REDACTED]

[REDACTED]



**From:** [REDACTED]  
**Subject:** [REDACTED]; [eps@orlandpark.org](mailto:eps@orlandpark.org)  
**Date:** [143rd St Public Meet] Online Comments - new submission  
Wednesday, December 23, 2020 7:23:18 PM

---

[REDACTED] just submitted your form: Online Comments  
on [143rd St Public Meet](#)

**Message Details:**

First Name\*: [REDACTED]

Last Name\*: [REDACTED]

Phone\*: [REDACTED]

Email Address\*: [REDACTED]

Home Address\*: [REDACTED]

Representing: My family and kids

Type your message here\*: Hello, I am a resident of Orland Park.

Unfortunately, I missed the meeting. I would like to know what will happen with all the buses and students that go to Park school on 143rd and West Ave? Will this cause delays for them? If so what can be done to assist in making sure the kids get to school on time? The kids are arriving at school approximately between 7:40am and 8:05am. The busses and cars pick up the kids at 12pm. How will the project team assure that this will not affect the kids arrival time each day. School is extremely important and I do not want to see this project negatively effect the kids. Please let me know if this was discussed or thought about prior to this plan? I appreciate any information on this as this will cause majors delays for that particular school. Thank you for your time.

[REDACTED]



**From:** [Gmail](#)  
**To:** [Matthew Huffman](#)  
**Cc:** [eps@orlandpark.org](mailto:eps@orlandpark.org)  
**Subject:** Re: Virtual Public Meeting Comment Form  
**Date:** Thursday, December 24, 2020 9:01:59 AM

---

Mr. Huffman,

Thank you for your prompt reply. Regarding our concerns, my husband and I have experienced prior issues with accessing the entrance to our neighborhood whenever there is any roadwork or construction along 143rd and Wolf. Several times that stretch has been closed off to traffic, making it difficult for residents of Deer Haven to re-enter the subdivision via the sole entrance off of 143rd. Often we have had to stop in the middle of the street and flag down police personnel in order to explain to them that we are residents of Deer Haven and require entrance into the subdivision, given that the road would be completely blocked off to thru traffic. If police and/or any other construction personnel could simply be informed that free access needs to be provided to/from Deer Haven Estates for residents even if that stretch needs to be closed off to all other traffic, that would be appreciated.

Sincerely,

[REDACTED]

On Dec 23, 2020, at 4:29 PM, Matthew Huffman <[mhuffman@cbbel.com](mailto:mhuffman@cbbel.com)> wrote:

[REDACTED]

[REDACTED] engagement in the 143rd Street Phase I Engineering Study. We are confirming receipt of your comments/questions. If you have questions pertaining the materials on the Virtual Public Meeting website please let us know and we'll get a response back to you as soon as possible so you can continue your review of the project materials.

Regarding your specific comment, we are providing full access to the Deer Haven subdivision. A dedicate left turn lane will be provided from 143<sup>rd</sup> Street into the Deer Haven subdivision. Can you provide additional information about the specific issues that affect your ability to access your subdivision along 143<sup>rd</sup> Street?

With Regards,

**Matt Huffman, P.E.**

*Senior Project Manager - Phase I Engineering Department*

**Christopher B. Burke Engineering, Ltd.**

9575 W. Higgins Road, Suite 600 Rosemont, IL 60018

Office: (847) 823-0500 Cell: (847) 804-7615 Fax: (847) 823-0520

E-Mail: [mhuffman@cbbel.com](mailto:mhuffman@cbbel.com)



[<image001.png>](#)

[<image002.png>](#)

[<image003.png>](#)

The information contained in this e-mail is intended only for the individual or entity to whom it is addressed and should not be opened, read or utilized by any other party. This message shall not be construed as official project information or as direction except as expressly provided in the contract document. Its contents (including any attachments) may contain confidential and/or privileged information. If you are not an intended recipient you must not use, disclose, disseminate, copy or print its contents. If you receive this e-mail in error, please notify the sender by reply e-mail and delete and destroy the message.

"You cannot escape the responsibility of tomorrow by evading it today."

- **Abraham Lincoln**

[REDACTED]

**Sent:** Tuesday, December 22, 2020 3:09 PM

**To:** Matthew Huffman <mhuffman@cbbel.com>

**Subject:** Virtual Public Meeting Comment Form

Hello,

Attached is our household's comments to the proposed 143rd Street construction in Orland Park. Our comments primarily concern there being as minimal disruption as possible to exiting/entering our Deer Haven subdivision, which is located off of 143rd Street and Wolf Road.

Sincerely,

[REDACTED]





ORLAND  
PARK

# 143<sup>RD</sup> STREET IMPROVEMENTS WOLF ROAD TO SOUTHWEST HIGHWAY

## PHASE I ENGINEERING STUDY

### VIRTUAL PUBLIC MEETING COMMENT FORM

The Village of Orland Park is conducting a Virtual Public Meeting related with the 143rd Street Phase I Preliminary Engineering and Environmental Study. The 143rd Street study area is from Wolf Road on the west to Southwest Highway on the east, a distance of 1.7 miles.

Your input is valuable and the Village is committed to including stakeholders in the development of the project. A Virtual Public Meeting is being held from December 10, 2020 to January 11, 2021, where project information is provided on a Virtual Public Meeting web page. A live virtual project presentation will be held on December 17, 2020 at 6pm, which will be recorded and posted to the Virtual Public Meeting web page. You can visit the Virtual Public Meeting web page [www.143rdStreetProject.com](http://www.143rdStreetProject.com) for project information. You can either download this form or submit a comment directly through the Virtual Public Meeting web page.

This meeting is an opportunity for you to provide comments on the:

- Proposed Improvements for 143rd Street (Wolf Road to Southwest Highway)
- Use of property (0.51 acres of permanent easement; 0.15 acres of temporary construction easement) from the McGinnis Slough Forest Preserve associated with the proposed improvements. The Village intends to seek a *de minimis* impact finding from the Federal Highway Administration (FHWA) based on the project not adversely affecting the features, attributes or activities qualifying the properties for protection under U.S. DOT Section 4(f).
- Use of property (0.17 acres of right-of-way; 0.05 acres of temporary construction easement) from seven historic resources associated with the proposed improvements, including the Old Orland Local Historic District. The Village intends to seek a *de minimis* impact finding from the Federal Highway Administration based on the project not adversely affecting the features, attributes or activities qualifying the properties for protection under U.S. DOT Section 4(f).

You may submit your Comment Form using one of the following methods:

- a) Fold in thirds, tape shut, and submit via mail;
- b) Fax to (847) 823-0520; or
- c) Scan and e-mail to [mhuffman@cbbel.com](mailto:mhuffman@cbbel.com)

To be included in the virtual Public Meeting record, please submit comments by Monday, January 11, 2021.

Please check one: ☒ Owner ☐ Resident (Tenant)

Name (Please Print Clearly):

Mailing Address:

Phone:

Email:

Comments:

The proposed plan is great and the expansion would make getting around and commuting in and out of our Subdivision 100% Better. Right Now we are using alternate routes, making u-turns and dangerous turns to get in and out of our home. The intersections at 143rd + Wolf Rd are crowded by residents doing the same thing. Many people are making illegal left turns going Westbound on 143rd into Deer Haven. Very Dangerous. Hope this all goes through.





ORLAND  
PARK

# 143<sup>RD</sup> STREET IMPROVEMENTS WOLF ROAD TO SOUTHWEST HIGHWAY

## PHASE I ENGINEERING STUDY

### VIRTUAL PUBLIC MEETING COMMENT FORM

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- b) Fax to (847) 823-0520; or
- c) Scan and e-mail to [mhuffman@cbbel.com](mailto:mhuffman@cbbel.com)

To be included in the virtual Public Meeting record, please submit comments by Monday, January 11, 2021.

Please check one: ☒ Owner ☐ Resident (Tenant)

Name (Please Print Clearly):

Mailing Address:

Phone:

Email:

Comments: While we are eagerly anticipating improvements to 143rd St. in order to alleviate congestion, our only concern relates to potential disruptions immediately outside our Deer Haven Estates subdivision that would prevent us from freely entering and exiting the subdivision without the need to take alternate routes, particularly during school drop-off/pickup times. Any issues occurring on 143rd St. between Wolf Rd. and 108th has often resulted in that area being inaccessible, creating difficulties for Deer Haven residents to enter/exit the subdivision via the only entrance on 143rd St.



**From:** [REDACTED]  
**To:** [Matthew Huffman; eps@orlandpark.org](mailto:eps@orlandpark.org)  
**Subject:** [143rd St Public Meet] Online Comments - new submission  
**Date:** Wednesday, December 30, 2020 8:25:53 PM

---

[REDACTED] just submitted your form: Online Comments  
on [143rd St Public Meet](#)

**Message Details:**

First Name\*: [REDACTED]

Last Name\*: [REDACTED]

Phone\*: [REDACTED]

Email Address\*: [REDACTED]

Home Address\*: [REDACTED]

Representing: Owner

Type your message here\*: I was THRILLED to learn about the expansion of a 143rd St, especially outside of our sub-division (Deer Haven). To be quite frank, the way it is set up at this moment is inconvenient, and above that: dangerous! If you are traveling west on 143rd St, you literally have to drive to the Shell Gas Station on 143rd & Wolf Road, to enter that parking lot, and do a loop back (I am sure the gas station owner does not appreciate that....nor do we!). It is hard to find another area to turn around, unless you travel further west. Additionally, we see people all the time disobeying the "no turn" sign on to Deer Haven Lane...and we sometimes see cars turn into the lane....that someone leaving the subdivision would have to exit out of! This is INSANE! Additionally, traffic at peak times on 143rd is unbearable. I vote YES to the expansion of 143rd St, from Wolf Road, to Southwest Highway. The benefits listed above, would give us a safer, and much more convenient community. Thank you!

**From:** [REDACTED]  
**To:** [Matthew Huffman; eps@orlandpark.org](mailto:eps@orlandpark.org)  
**Subject:** [143rd St Public Meet] Online Comments - new submission  
**Date:** Saturday, January 2, 2021 8:47:01 PM

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[REDACTED] just submitted your form: Online Comments  
on [143rd St Public Meet](#)

**Message Details:**

First Name\*: [REDACTED]

Last Name\*: [REDACTED]

[REDACTED]

Email Address\*: [REDACTED]

[REDACTED]

Representing: Self

Type your message here\*: As a resident of the Old Orland area, I am concerned this will increase the already steady stream of “cut through” traffic from people avoiding lights and trains. Will there be a bridge to cross 143rd street for the many residents of this area who take the train to work? And young people who walk to shop locally at Marianos, Starbucks, etc? I am concerned the noise level will increase and our property value will decrease as a result of this busy street doubling in size. I did see sidewalks in models but residents do not want a walking path along a busy street. I would rather the path be set away from the street and potential hazardous cars and trucks. The vast majority of residents in this family friendly area would like the area to be pedestrian friendly with quaint charm of the historic area. How will this project impact and maintain the historic walk ways/ light posts and work to increase the charm rather than simply a concrete speedway? Thank you!



**From:** [REDACTED]  
**To:** [Matthew Huffman](#); [eps@orlandpark.org](mailto:eps@orlandpark.org)  
**Subject:** [143rd St Public Meet] Online Comments - new submission  
**Date:** Saturday, January 2, 2021 5:41:44 PM

---

[REDACTED] just submitted your form: Online Comments  
on [143rd St Public Meet](#)

### Message Details:

First Name\*: [REDACTED]

Last Name\*: [REDACTED]

Phone\*: [REDACTED]

Email Address\*: [REDACTED]

Home Address\*: [REDACTED]

Representing: -

Type your message here\*: One of my concerns in adding capacity for more vehicles on 143rd is the increased difficulty and danger crossing 143rd to gain access to the bike trails. A pedestrian bridge or tunnel that would bring people safely to the triangle would be nice. I already avoid crossing LaGrange as a pedestrian and this would deter me from crossing 143rd as a pedestrian.

---

To edit your email settings, go to your Inbox on desktop.



**From:** [REDACTED]  
**Subject:** [REDACTED]; [eps@orlandpark.org](mailto:eps@orlandpark.org)  
**Date:** [143rd St Public Meet] Online Comments - new submission  
Monday, January 4, 2021 4:19:32 PM

---

[REDACTED] just submitted your form: Online Comments  
on [143rd St Public Meet](#)

**Message Details:**

First Name\*: [REDACTED]

Last Name\*: [REDACTED]

Phone\*: [REDACTED]

Email Address\*: [REDACTED]

Home Address\*: [REDACTED]

Representing: -

Type your message here\*: Hello, I am a relatively new citizen of Orland Park, having lived here slightly less than two years. My family and I chose to move to Orland Park because of the natural spaces available to its citizens. The primary reason I became a member of the Orland Park Open Lands Commission is to do my part in preserving the natural wonders found in our village. For this reason, I feel compelled to submit a comment about the proposed widening of 143rd Street. As has been highlighted in other public comments, the parcel proposed for compensatory storage is an Open Lands commission parcel. This parcel is held in public trust for preservation purposes primarily because it is home to a sizeable old-growth grove of oak trees, many over 100 years old. These trees would be forever lost if the property is allowed to be used for this project. Additionally, this property's proposed use runs counter to the Open Lands comission's founding purpose. The Open Lands Articles of Incorporation state that its purpose is, among other



things, to acquire lands of ecological value "and either to maintain the land itself and preserve it in (or convert it to) a natural state or to hold and preserve the land until arrangements can be made to transfer title to the land to a governmental agency for conservation purposes." As other commenters have mentioned, this preserved land should have never been considered an option for compensatory storage since it will not keep the property in a natural state. I encourage you to reconsider using this land as compensatory storage. The environment and the legitimacy of our preservation program are worth better than this.

---

To edit your email settings, go to your [Inbox](#) on desktop.



**From:** [REDACTED]  
**To:** [eps@orlandpark.org](mailto:eps@orlandpark.org); [Matthew Huffman](#)  
**Cc:** [fatherfrank@saintmike.com](mailto:fatherfrank@saintmike.com); [Paul Smith](#)  
**Subject:** Phase 1 Improvements - 143rd Widening  
**Date:** Monday, January 4, 2021 4:39:35 PM  
**Attachments:** [St. Michaels PINs & Lot Frontage.pdf](#)

---

Good afternoon,

I am looking to obtain a copy of the preliminary improvements along with the proposed R/W and easement information for the following parcel identification numbers associated with St. Michael Church:

27-09-105-019  
27-09-106-009  
27-09-106-003  
27-09-107-006  
27-09-107-007  
27-09-107-008  
27-09-107-017

I've attached a copy of the tax map for reference.

Additionally, please confirm the planned speed limit between Ridge Avenue and West Avenue if available.

Thank you for your assistance!

[REDACTED]

[REDACTED]  
[REDACTED]

[REDACTED]

[REDACTED]



**From:** [REDACTED]  
**To:** [Matthew Huffman; eps@orlandpark.org](mailto:Matthew.Huffman@eps@orlandpark.org)  
**Subject:** [143rd St Public Meet] Online Comments - new submission  
**Date:** Tuesday, January 5, 2021 2:00:33 PM

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[REDACTED] just submitted your form: Online Comments  
on [143rd St Public Meet](#)

**Message Details:**

First Name\*: [REDACTED]

Last Name\*: [REDACTED]

Phone\*: [REDACTED]

Email Address\*: [REDACTED]

Home Address\*: [REDACTED]

Representing: Orland Park Residents

Type your message here\*: To Whom It May Concern; We have been Orland Park residents for 28 years and have raised our 4 children here. Since its inception of the Open Lands Fund, we have been in support of the Village's plan to obtain lands for preservation. These open spaces are one of the benefits of living in Orland Park. In the proposed plans for the widening project on 143rd, the project exhibit does not indicate that the compensatory stormwater storage is on public preserved land. It seems to us that the village is trying to pull a fast one and not inform the public about the use of this valuable, protected land for how it was intended. And that is that it is to be preserved and or maintained in its natural state. This particular location includes a hill with 100 year old oak trees and natural wetlands. Leveling the hill and hollowing it out to hold stormwater is not its natural state. As longtime residents we hope that this plan is reconsidered and this beautiful, supposedly preserved land is protected by the people who are responsible to do what's right

for Orland Park. And if this land is offered up to this project, which parcels of our open lands are safe? The precedent needs to be clear - our Open Lands will be protected. [REDACTED]

[REDACTED]

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To edit your email settings, go to your Inbox on desktop.







ORLAND  
PARK

# 143<sup>RD</sup> STREET IMPROVEMENTS WOLF ROAD TO SOUTHWEST HIGHWAY

## PHASE I ENGINEERING STUDY

### VIRTUAL PUBLIC MEETING COMMENT FORM

The Village of Orland Park is conducting a Virtual Public Meeting related with the 143rd Street Phase I Preliminary Engineering and Environmental Study. The 143rd Street study area is from Wolf Road on the west to Southwest Highway on the east, a distance of 1.7 miles.

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- Use of property (0.17 acres of right-of-way; 0.05 acres of temporary construction easement) from seven historic resources associated with the proposed improvements, including the Old Orland Local Historic District. The Village intends to seek a *de minimis* impact finding from the Federal Highway Administration based on the project not adversely affecting the features, attributes or activities qualifying the properties for protection under U.S. DOT Section 4(f).

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- b) Fax to (847) 823-0520; or
- c) Scan and e-mail to [mhuffman@cbbel.com](mailto:mhuffman@cbbel.com)

To be included in the virtual Public Meeting record, please submit comments by Monday, January 11, 2021.

Please check one: ☒ Owner ☐ Resident (Tenant)

Name (Please Print Clearly):

Mailing Address:

Phone:

Email:

Comments:

get Rid of the TALL SWAMP GRASS ON 143rd  
AND 108th west THAT BLOCKS SIDE WALK + VISION  
where 108th and 143 meet. IT ALSO IS BAD TO  
Drive by VARIOUS ANIMALS DARTED INTO  
STREET Hidden by TALL SWAMP GRASS NORTH  
side of STREET ON 143rd. People ARE WALKING  
IN STREET + WALKING IN STREET ON 143 ST AT  
NIGHT THEIR HARD too see. PUT sidewalk in on  
143rd from 108th to Wolf Road NORTH side of  
STREET. Thanks







ORLAND  
PARK

# 143<sup>RD</sup> STREET IMPROVEMENTS WOLF ROAD TO SOUTHWEST HIGHWAY

## PHASE I ENGINEERING STUDY

### VIRTUAL PUBLIC MEETING COMMENT FORM

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Please check one: ☒ Owner ☐ Resident (Tenant)

Name (Please Print Clearly): \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Comments: THIS EXPANSION WILL DEVALUE OUR PROPERTIES. SOME  
ARE INTERESTED IN FILING A CLASS ACTION LAW SUIT.  
WE WILL ALSO NEED TRAFFIC LIGHT AT OUR SUBDIVISION  
ENTRY.





ORLAND  
PARK

# 143<sup>RD</sup> STREET IMPROVEMENTS WOLF ROAD TO SOUTHWEST HIGHWAY

## PHASE I ENGINEERING STUDY

### VIRTUAL PUBLIC MEETING COMMENT FORM

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Please check one: ☒ Owner ☐ Resident (Tenant)

Name (Please Print Clearly):

Mailing Address:

Phone:

Email:

Comments: WE LIVE IN DEER HAVEN AND GETTING IN  
AND OUT OF THE SUBDIVISION IS DIFFICULT.  
THIS IMPROVMENT IS WAY OVERDUE. WE ARE ALL  
FOR IT WISH IT WAS GOING TO TAKE PLACE  
SOONER. WE UNDERSTAN IT WILL BE  
DIFFICULT IN SOME PLACES BUT ITS  
MUCH NEEDED.

THANK YOU

**From:** [REDACTED]  
**Subject:** [REDACTED]; [eps@orlandpark.org](mailto:eps@orlandpark.org)  
**Date:** [143rd St Public Meet] Online Comments - new submission  
Wednesday, January 6, 2021 11:10:45 PM

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[REDACTED] just submitted your form: Online Comments  
on [143rd St Public Meet](#)

**Message Details:**

First Name\*: [REDACTED]

Last Name\*: [REDACTED]

Phone\*: [REDACTED]

Email Address\*: [REDACTED]

Home Address\*: [REDACTED]

Representing: -

Type your message here\*: Dear Village of Orland Park, My family has resided in Old Orland Park for 14 years and we are very concerned with the 143rd Street Improvement Project. The proposed widening of 143rd to 5 lanes will fundamentally change the character of the oldest, most walkable neighborhood in Orland Park. Our home is 2 houses south of 143rd and we are gravely concerned about noise, pollution and safety. The purpose of this IDOT sponsored project is to “move traffic”, but that mission is fundamentally at odds with the Village of Orland Park’s stated goal of creating a pedestrian friendly community. I wholeheartedly urge you to consider a few of my recommendations: 1. BUILD A NATURAL OR ARTIFICIAL BARRIER to protect family homes from the predicted increased traffic noise. You have offered a noise wall only to one specific area, but many others will be affected. At a minimum, have the village work with homeowners to plant shrubbery that could dampen noise that will be right on their front doorstep. 2.



SLOW TRAFFIC DOWN. The proposed speed limits for our neighborhood (Ridge Avenue) will be 35 mph. The section of 143rd that includes 2 elementary schools a church (Park and St. Michael's) and Metra pedestrian crossing, will still be posted at 30 mph. Even with enforcement from Village police, a 5 lane road gives people a psychological signal to drive at high speed. I have frequently witnessed cars driving in excess of 50mph on current section of 143rd from Crystal Tree to Ridge Ave and barely being able to stop when traffic slows down. I remind you that a pedestrian has 90% chance of dying from a 40 mph crash. Our neighborhood has dozens of children walking to school each day, and riding bikes afterwards. I strongly recommend changing speed limits to 35mph from Crystal Tree to Ridge Ave and 30mph from Ridge to Highland Ave. PLEASE, reduce the speed limit and engineer tools to slow traffic down. 3. ADD MORE CROSS WALKS and use lighted crosswalk signals. I routinely watch families park on Ridge Avenue and walk north across 143rd Street to hike on the (hidden, but frequently used) trail in Orland Grove Forest Preserve. These folks will keep visiting, but will now need to dodge 5 lanes of high speed traffic coming over a hill to get to the trail. I encourage you to put in a lighted crosswalk at 143rd and Ridge. 4. DO AN ENVIRONMENTAL IMPACT REPORT. The animals from Orland Grove Forest Preserve routinely cross 143rd into our subdivision. I often look out into the backyard to see a deer or a coyote walking through our backyard. Now these animals will be crossing 5 lanes of high speed traffic and potentially causing accidents as they search for food. Additionally, the 5 lane thoroughfare will invite commercial and truck traffic which will only increase noise, kick up dust, and cause air pollution right by our living space, church and schools. 5. PEDESTRIAN BARRIER. I urge you to install a high curb or some form of barrier to

keep cars from driving onto sidewalk or multiuse path in case of accident. Finally, please strongly consider the collateral damage this widening have on the oldest neighborhood in Orland Park and work to engineer safety and people into this project. [REDACTED]

---

To edit your email settings, go to your Inbox on desktop.





**From:** [REDACTED]  
**To:** [Matthew Hoffman](#); [Khurshid Hoda](#)  
**Subject:** 143rd street comment  
**Date:** Wednesday, January 6, 2021 9:57:55 AM  
**Attachments:** [image001.png](#)

---

Good Morning,

I just spoke to the gentleman below, he would like to possibly schedule a zoom to discuss his questions pertaining to 143<sup>rd</sup> Street. I let him know I would pass on his information and that he would get a phone call or email in the near future to answer any questions he may have.

[REDACTED]  
[REDACTED]  
[REDACTED]

Best,

**Shannon Gallagher** | Management Analyst  
Village of Orland Park  
14700 Ravinia Avenue | Orland Park, Illinois 60462  
Ph. 708.403.6277 | [sgallagher@orlandpark.org](mailto:sgallagher@orlandpark.org)



ORLAND PARK

**From:** [REDACTED]  
**To:** [Matthew Huffman; eps@orlandpark.org](mailto:eps@orlandpark.org)  
**Subject:** [143rd St Public Meet] Online Comments - new submission  
**Date:** Thursday, January 7, 2021 3:58:29 PM

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[REDACTED] just submitted your form: Online Comments  
on [143rd St Public Meet](#)

**Message Details:**

First Name\*: [REDACTED]

Last Name\*: [REDACTED]

Phone\*: [REDACTED]

Email Address\*: [REDACTED]

Home Address\*: [REDACTED]

Representing: [REDACTED]

[REDACTED]

Type your message here\*: Not enough notice has been given to our community regarding this proposal, especially while distracted by threats of health during the 2020 coronavirus pandemic, and threats of safety by civil unrest in Black Lives Matter riots occurring at the Orland Square Mall this past June, and threats to our democracy this past December. Christmas time is quite a distraction as well, and withdrew attention from your 12/17 Zoom meeting. Our community is devastated to hear about the dangerous expansion of 143rd street into a 5 lane traffic corridor!!! Especially after all the events of the past year in 2020, it is heartbreaking that our homes of safety and shelter are under attack now too! As the oldest neighborhood in the village of Orland Park, with historical value, commuter train accessibility, 2 primary schools flanking either side of 143rd. Street, St. Michael's Church (whose parishioner count is among the highest in whole of the Archdiocese of Chicago



while other churches are threatening closure), small business restaurants and storefronts facing 143rd, with active neighborhood walkers attracted to each, our community was never meant to be placed near a 5 lane busy highway! Our family has lived at this address for 14 years, and know many neighbors who have lived here for several generations- children returning to their beloved neighborhood to raise children of their own in the same schools, churches and giving access to the businesses and amenities they cherished growing up. Our neighborhood uniquely enjoys mature trees, over a hundred years old, subject to protections from being cut down, and adding a natural character to this area, not able to be reproduced for many years in the newer construction of other subdivisions, definitely not replaceable!! Our grammar school children truly walk unaided by adults, early in the morning to and late in the afternoon from school, ride bikes with friends until dark, and head freely to the park- not many neighborhoods know that kind of freedom for their kids! Our family regularly leaves the car at home and walks for trips into Chicago using the Southwest Service Metra train, and knows of many who commute daily by the same Metra to and from work. One commuting neighbor has shared his story with us that he was struck by a car, as he crossed the official pedestrian crosswalk at 143rd by Southwest Highway, near Mitchell's florist, struck with such force that his body hit the car's windshield!! Eventhough, It is Illinois law for a motorist to stop for a pedestrian actively using a crosswalk, lives pay the price ! Upon review of the proposed plans, our community shares sentiment that the expansion of 143rd destroys the unique walkable benefits for our residents, and all the hopes that city planners usually like to believe in, and include sketches for in the satisfaction of their planned communities. No one wants to walk next to a 5 lane highway unless their car breaks down! Now that it has snowed,

you can fully view the many footprints left behind by the community, who use the one sidewalk we have access to- even during this time when all students are at home elearning, and commuters may be working from home, this sidewalk is thoroughly utilized! We see that a multiuse path is proposed for the north side (forest preserve) of 143rd. With most of the residents in the area living on the south side of 143rd, it will be impossible to use this walkway, as 5 lanes of traffic will need to be crossed just to access it! There are restaurant workers who walk or bike to Wolf and 143rd from our community daily. As noted, our residents get hit by cars on official paths, when the street is only 3 lanes wide right now. Our home is on Ridge Avenue, at the base of a hill, and we often times stop ourselves from turning left mid-turn onto 143rd because an unseen car speeds over the hill, faster than the speed limit, faster than we can account for in completing a turn. After this proposed project, we fear never to be able to turn left out of our neighborhood again. We have concerns for a deadly accident that could occur as people try to access the forest preserve trail by foot, located west of Ridge Ave., as people often do, park their cars on Ridge Avenue and walk to the trail for memory's sake, for Boy Scout hikes, for photography, or just to enjoy nature and catch their breaths. We have concerns for pollution kicked up and emitted by additional cars/trucks encouraged to travel an expanded 143rd street, let alone the noise pollution increase for our quiet neighborhood. We have concerns for our utility lines and poles which are currently exposed and extend over 143rd street, and concerns for adequate lighting to highlight each street's individual intersections. We are concerned for the speed limit in our quiet community, so close to a highway corridor, again with grammar school children walking to school, parishioners headed to



church, hikers going into the forest, shoppers for local small businesses/restaurants, and walkers to and from the train access. We are worried about the decreased value for our homes, finding ourselves so close to a 5 lane highway. We are concerned for water drainage, with such an expanse of road affecting our properties. We are concerned for the traffic vibrations affecting our house foundations. We are concerned for the forest preserve animals- deer, coyote, raccoons, blocked by the proposed north side wall of 143rd, and funneling the animals by greater numbers into unblocked roadways. We carefully chose this neighborhood, our first home on Ridge Avenue, specifically wanting all of the walkable freedom that this community provided, and have felt so proud to have had our children being able to walk to school, our family walk to church, walk to brunch at Orland Oasis, walk to a doctor's appointment on 108th Avenue, walk to a haircut at Bill's Barber shop, walk to the Irish Patriot to meet friends for a drink, walk to the Village Hall to conduct business or watch the Christmas displays, walk to Heine McCarthy's for dinner or a snack after school, walk to the Metra for adventure in Chicago, walk to Marianos when we need groceries or use the bike path just beyond it, walk to the Orland library, walk to the summer Farmer's Market and hear a concert near Crescent Park and 9750 apartments. We have done all of these things. We feel we have it all here, and our neighbors are long time residents, or moved here specifically for walkable access to Park School or Saint Michael School for their kids. This expansion is a destruction of these ideals for our community, for the goals most city planners have for residents, and the unique independence most other children and residents have been robbed of in other neighborhoods, shut off in the usual desert of suburban subdivisions.

---

**From:** [REDACTED]  
**Subject:** [REDACTED]; [eps@orlandpark.org](mailto:eps@orlandpark.org)  
**Date:** [143rd St Public Meet] Online Comments - new submission  
Thursday, January 7, 2021 8:50:31 PM

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[REDACTED] just submitted your form: Online Comments  
on [143rd St Public Meet](#)

**Message Details:**

First Name\*: [REDACTED]

Last Name\*: [REDACTED]

Phone\*: [REDACTED]

Email Address\*: [REDACTED]

Home Address\*: [REDACTED]

Representing: my family

Type your message here\*: Please take extra steps to ensure the safety of adults walking home from the Metra and children crossing 143rd and West to school or riding bikes. In 2018, my husband was hit by a car who did not make a full stop on West Avenue when making a right turn on red onto 143rd east. My husband was hit and landed on the windshield. Luckily he was not injured. The intersection should be a no turn on red period. Right now it's no turn on red if children are present. Also, there is too many obtrusive objects at the corner which make it difficult for motorists to see pedestrians. Clean up the intersection. Also, please ensure that our neighborhood streets from Oakley to Highland are not used to bypass construction on 143rd to get to West Avenue. 1. During construction, for vehicles coming from the west on 143rd towards LaGrange Road, adds signs that say no turn on red during rush hour on all streets between Ridge and Highland Avenues. Also, I recommend the village add more stop signs on 144th St., as many



vehicles already speed beyond the limit through the neighborhood to get to West Ave. Please add a four way stop sign at Woodland Ave and 144th St. and at Ridge and 144th St. Thank you!

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### VIRTUAL PUBLIC MEETING COMMENT FORM

The Village of Orland Park is conducting a Virtual Public Meeting related with the 143rd Street Phase I Preliminary Engineering and Environmental Study. The 143rd Street study area is from Wolf Road on the west to Southwest Highway on the east, a distance of 1.7 miles.

Your input is valuable and the Village is committed to including stakeholders in the development of the project. A Virtual Public Meeting is being held from December 10, 2020 to January 11, 2021, where project information is provided on a Virtual Public Meeting web page. A live virtual project presentation will be held on December 17, 2020 at 6pm, which will be recorded and posted to the Virtual Public Meeting web page. You can visit the Virtual Public Meeting web page [www.143rdStreetProject.com](http://www.143rdStreetProject.com) for project information. You can either download this form or submit a comment directly through the Virtual Public Meeting web page.

This meeting is an opportunity for you to provide comments on the:

- Proposed Improvements for 143rd Street (Wolf Road to Southwest Highway)
- Use of property (0.51 acres of permanent easement; 0.15 acres of temporary construction easement) from the McGinnis Slough Forest Preserve associated with the proposed improvements. The Village intends to seek a *de minimis* impact finding from the Federal Highway Administration (FHWA) based on the project not adversely affecting the features, attributes or activities qualifying the properties for protection under U.S. DOT Section 4(f).
- Use of property (0.17 acres of right-of-way; 0.05 acres of temporary construction easement) from seven historic resources associated with the proposed improvements, including the Old Orland Local Historic District. The Village intends to seek a *de minimis* impact finding from the Federal Highway Administration based on the project not adversely affecting the features, attributes or activities qualifying the properties for protection under U.S. DOT Section 4(f).

You may submit your Comment Form using one of the following methods:

- a) Fold in thirds, tape shut, and submit via mail;
- b) Fax to (847) 823-0520; or
- c) Scan and e-mail to [mhuffman@cbbel.com](mailto:mhuffman@cbbel.com)

To be included in the virtual Public Meeting record, please submit comments by Monday, January 11, 2021.

Please check one: ☐ Owner ☐ Resident (Tenant)

Name (Please Print Clearly): \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Comments: \_\_\_\_\_

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[REDACTED]

[REDACTED]

**Comments to the Phase 1 Public Meeting – 143<sup>rd</sup> Street Widening Project**

**1. Regular Mass Schedule: (peak times, year-round)**

Monday thru Friday between 7:00 AM and 9:00 AM  
Saturdays between 4:00 and 6:00 PM  
Sundays between 7:00 AM and 3:00 PM

Note: Weddings and funerals are frequent and are scheduled upon request.

***Vehicles arrive/depart from entrances on 143<sup>rd</sup> St., Highland Ave., and West Ave.***

**School Schedule - Monday thru Friday: (in-session Mid-August through the beginning of June)**

Student Arrival (Bus and Car drop-off) – 6:45 AM to 8:30 AM  
Preschool pick-up – 11:00 to 11:30 AM  
Student Dismissal (Bus and Car drop-off) – 1:30 PM to 2:15 PM

***Vehicles arrive from entrances on 143<sup>rd</sup> St., Highland Ave., and West Ave.***

***Vehicles depart from entrances on West Ave. and 144<sup>th</sup> St.***

2. The parish's concern is the public use of temporary driveways and subsequent contractor maintenance during construction, given the high volume of traffic in-and-out of the property. With construction impacting the intersection of 143<sup>rd</sup> Street and West Avenue, we would ask design engineers to stagger the entrance construction so that only one street (either 143<sup>rd</sup> Street or West Avenue) is under construction at a time. Please consider this request when developing Phasing and Maintenance of Traffic plans for the legs of this intersection, as to not unduly burden St. Michael's more than may be necessary.
3. We understand that a raised median barrier is not planned along 143<sup>rd</sup> Street between Highland Avenue and West Avenue and that a two-way turn lane will be the center lane of the road profile. If that decision is revisited or changed for any reason, we respectfully ask to be informed before a final determination is made. The parish believes that a raised barrier along 143<sup>rd</sup> Street in front of the church would be detrimental to the property's access.
4. Per the available exhibits shown during the Public Meeting held on December 17, 2020, it appears that the planned speed limits are as follows:
  - 40 MPH along 143<sup>rd</sup> Street from Crystal Tree Subdivision to Ridge Avenue
  - 35 MPH along 143<sup>rd</sup> Street from Ridge Avenue to Highland Avenue
  - 30 MPH along 143<sup>rd</sup> Street from Highland Avenue to West Avenue
  - 30 MPH along West Avenue

Please confirm that the speed limits noted above are correct and that there will be signage along 143<sup>rd</sup> Street and West Avenue denoting a posted 20 MPH School Zone per 625 ILC 5/11-605.

5. Separately, based upon the roadway jurisdiction of 143<sup>rd</sup> Street and West Avenue, we would ask the design engineers and the Village of Orland Park to consider Solar or AC-Powered, LED-Enhanced Warning Signage to delineate the School Zone.

Though the construction limits of the improvements along West Avenue end approximately 330' south of the south R/W line of 143<sup>rd</sup> Street, there is an existing pedestrian crossing at 144<sup>th</sup> Street and West Avenue, which could also be considered for signage modernization as part of the proposed project.

Thank you for your consideration.

[REDACTED] [REDACTED]

[REDACTED] [REDACTED]

**From:** [REDACTED]  
**Subject:** [Matthew Huffman; eps@orlandpark.org](#)  
**Date:** [143rd St Public Meet] Online Comments - new submission  
Thursday, January 7, 2021 10:52:23 PM

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[REDACTED] just submitted your form: Online Comments  
on [143rd St Public Meet](#)

**Message Details:**

First Name\*: [REDACTED]

Last Name\*: [REDACTED]

Phone\*: [REDACTED]

Email Address\*: [REDACTED]

[REDACTED] [REDACTED]

Representing: My Family

Type your message here\*: I would imagine it's easy for passers-by to get behind this project, but for those who live adjacent to the area of proposed alterations, there are a multitude of detractions. First, the proposed acquisition of federally protected forest preserve/wetland area threatens to devastate the character of the subject portion of 143rd street. It seems counterintuitive in this day in age to pave over a nature preserve to alleviate a little rush hour congestion. Second, the alleged effort to increase "safety" on this stretch of road by adding more lanes, and thus more traffic, does not seem realistic or well thought-out. On that note, the proposed renovations do not add any safety features to ensure safe ingress and egress for residents who live between west avenue and ridge, south of 143rd. Residents in this area who wish to travel west on 143rd will need to proceed to the traffic light at west avenue and 143rd to make a safe left turn onto the proposed 5 lane road. This will likely add to the traffic issues that already arise at that



intersection, which is adjacent to two schools. A traffic light is proposed for Crystal Tree, why not the neighborhood to its east? Has the village considered closing off some of those north-south streets at 143rd street to prevent rush hour traffic spillage from the five lane 143rd street into that residential area? A third detractor is the proposed acquisition of historic property. We are blessed in Orland Park to have a pocket of history and charm in Old Orland. This project threatens to chip away at the unique character of Orland Park to make way for yet another large roadway. Another detractor is allocation of funds to widen a roadway where improvements are needed for other infrastructure within the village. If the village can acquire funds for improvements, perhaps it can use those funds to improve the condition of existing roadways, reforest parks and other public spaces where mature trees are dying off, or work to improve decades-old flooding issues in various residential sections within the village.

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**From:** [REDACTED]  
**Subject:** [Matthew Huffman; eps@orlandpark.org](#)  
**Date:** [143rd St Public Meet] Online Comments - new submission  
Thursday, January 7, 2021 6:13:03 PM

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[REDACTED] just submitted your form: Online Comments  
on [143rd St Public Meet](#)

**Message Details:**

First Name\*: [REDACTED]

Last Name\*: [REDACTED]

Phone\*: [REDACTED]

Email Address\*: [REDACTED]

Home Address\*: [REDACTED]

Representing: Representing concerned citizens of Orland Park

Type your message here\*: I am writing in response to the planned destruction of a parcel of land containing a hill and a grove of stately, native oak trees, as well as a wetland area at the NE corner of 143rd Street and Wolf Road. The area has been designated as the site of compensatory storage for storm water. This land was purchased by the Village Open Lands initiative, with the express intention of preserving it for future generations, which causes me to wonder why it would be considered for storm water storage in the first place. Surely there are multiple other parcels of land available to serve that function. It seems to me that if this beautiful natural area is allowed to be destroyed, a precedent will be set that could lead to similar destruction of other natural areas that have been designated as preserves. One reason that Orland Park is such a desirable place to live is that there is a balance between development and the preservation of natural, open areas. The loss of even a few of these areas only brings us closer to the poorly



planned, cookie-cutter appearance of many other villages. Our National Arbor Day Foundation designation as a Tree City USA for so many consecutive years should mean something to us all, and should serve as a reminder of the emphasis on quality of life that Orland Park should continue to observe.

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**From:** [REDACTED]  
**To:** [Matthew Huffman](#)  
**Cc:** [Khurshid Hoda](#)  
**Subject:** 143RD ST WIDENING PROJECT - OLD OAK IMPACT  
**Date:** Saturday, January 9, 2021 4:53:12 PM  
**Attachments:** [image004.png](#)  
[Oak Tree Age - 143rd Hill.pdf](#)  
**Importance:** High

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Please include the following comments and attachment in the public hearing record for the 143<sup>rd</sup> St Widening VOP/IDOT project.

Attached is the table with the tree age estimates for 16 mature oaks on the 143<sup>rd</sup> Old Oak Hill site. Age estimates for these trees range from 129 to 271 years old.

Each tree measured was tagged and a photo record captured with GPS coordinates in most cases (though not in table).

Dozens more large trees remain unmeasured.

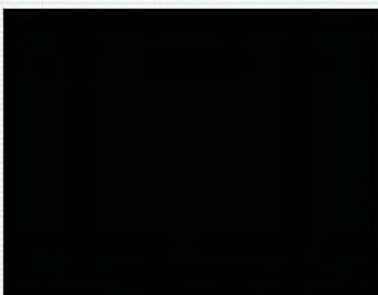
A non-random sample of large trees were measure for DBH at 4.5". The age estimates are based on a DBH table correlation developed by Marlin Bowles and Michael Jones at noted.

The health of each sample tree was not evaluated as trees were dormant. However, obviously dead trees were not included. The top of the hill is roughly 725+ ft in elevation, while the road is about 705 ft.

Trees greatest than 24" DBH are also governed by VOP development code below.

Code 6-305 for Tree Preservation: [ARTICLE 6: DEVELOPMENT REGULATIONS \(amlegal.com\)](#)

These trees are truly "witness" trees and remnants of what was probably an old oak savanna overlooking Long Run Creek. If this site is used for compensatory storage for run-off, the entire wooded parcel would be lost along with its history and beauty as a landscape feature.



Resident of Orland Park



# OLD OAK HILL ON 143RD ST (OPEN LANDS OF ORLAND PARK)

12/19/2020 14:15	TREE TAG	DBH	SPECIES	AGE M1
Field Work by Lou Mulé				
	26	28.0	White Oak	215
	166	33.0	Bur Oak	219
	169A	21.8	Bur Oak Twin Trunk	142
	169B	26.5	Bur Oak Twin Trunk	167
	162	26.1	Bur Oak	167
	179	25.2	Bur Oak	167
	191	28.0	Bur Oak	179
	27	29.0	White Oak	229
	174		Cherry	
	28	22.8	Bur Oak	142
	160	20.0	Bur Oak Competition	129
	29	26.9	Bur Oak	167
	194	32.8	Bur Oak	219
	30	35.8	White Oak	271
	31	28.8	White Oak	215
	32	29.4	Bur Oak	192
	33	35.8	White Oak (East Slope)	271

Count 16

Notes: Bur Oaks tend to occur on south and southwest slopes and white oaks on north and east slopes. Red oak leaves were found but no trees measured. Some trees were apparently tagged and measured previously as they were tagged at about 4.5 ft DBH (unknown study?). Older understory cherry were not measured though a few were tagged previously.

## References:

Age M1:Estimated age calculated from table in "Telling a Tree's Age" – Chicago Wilderness (Spring 2006) - Tegan Jones with Marlin Bowles and Michael Jones.

Age M2:Estimated Age calculated from table in WHAT ARE THE AGES OF TREES IN YOUR NEIGHBORHOOD? John Dwyer, Research Associate, The Morton Arboretum (9 Aug 2009) Urban Tree Ages Only

Urban Tree Estimator: [Tree Age Calculator - Good Calculators](#) (not used here)

DBH rounded to nearest table diameter for estimate. Tree age is an estimate only - tree growth may vary by location, soils, local weather, competition, urban or rural setting, disturbance and other factors. For live trees, borings are most reliable way to establish age.

Per VOP ordinance on tree preservation, trees of 24" DBH are considered "heritage" trees subject to preservation and permits if removed.

**From:** [REDACTED]  
**To:** [Matthew Huffman](#)  
**Cc:** [Khurshid Hoda](#)  
**Subject:** 143RD ST WIDENING - ORLAND PARK : 11100 W 143RD ST - OPEN LANDS PARCEL  
**Date:** Saturday, January 9, 2021 4:23:59 PM  
**Importance:** High

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This email was sent to the VOP prior to the start of the public record. We ask you to include it as part of the public hearing record for this project. We ask that the issues raised in this email be addressed as part of the public hearing record. To recap:

- The proposed compensatory storage basin for 143<sup>rd</sup> St project would constitute a non-de-minimis taking of public conservation land for a transportation project, a non-permissible use or conversion. The site, while owned by the VOP, was paid for by taxpayer funds dedicated to open lands preserved for conservation use only. In fact news articles in 2014 reported on this acquisition – it was a clearly publicly known site.
- The site contains dozens of very old oaks – classified as “heritage” trees (> 24” DBH) in landscape protection ordinances within the VOP – as such these trees are irreplaceable in our lifetimes.
- The site was not identified as the above in any of the public documents, drawings or maps as public lands or parks within the project area and impacted negatively. Hence, the IDOT Phase I design process appears flawed as it did not include a discussion of how and why this site is needed, why other sites were not considered, and what mitigation actions the SOI would provide to the taxpayers including compensation for loss, replacement sites of equal or better quality and replacement of ecosystem values. With regards to this element, this “quiet” process appears misleading and obtuse. As such, it might not meet IDOT’s rules for a transparent and open process with regards to sensitive public lands and conservation areas and priority one avoidance of impact. It is not clear how IDOT, as claimed, would readily approve this construction feature, if they had known about the impact on this site.
- The claim by the Village Engineer that the replacement plant community of a “detention wetland” is an appropriate substitute for an old oak savanna grove remnant, is, to be polite, ridiculous on its face.
- The Village Manager, in a meeting with myself and the Village Engineer among others, was clearly informed that another site needs to be found for compensatory storage. We suggested consideration of the small upland directly across 143<sup>rd</sup> St, east of and south of the Shell gas station as starters.
- The Open Lands of Orland Park land program was established by ordinance in 1995 to acquire and preserve for future generations important natural and historic lands. Discretionary land use conversion for transportation is not permitted. This land is held by the



VOP in trust for its residents. The project team should not rely on any representation to the contrary except by legal counsel for all parties. The Open Lands Fund Commission and the Orland Park Open Lands Corporation (a 501C3) are stakeholders in this controversy and request consultation and participation in this matter to avoid further conflict and legal entanglements.

Respectfully,

[REDACTED]  
[REDACTED]  
[REDACTED]  
[REDACTED]  
[REDACTED]

**From:** [REDACTED]  
**Sent:** Tuesday, December 8, 2020 4:48 PM  
**To:** George Koczwara <gkoczwara@orlandpark.org>  
**Cc:** Kathy Fenton <kfenton@orlandpark.org>; Bob Sullivan <bsullivan4605@gmail.com>; Kyle Quinn <kquinn@orlandpark.org>; eps@orlandpark.org  
**Subject:** [REDACTED]  
**Importance:** High

In past meetings of the Open Lands Fund Commission, members expressed concerns about the possible land use conversion of the 143<sup>rd</sup> St Oak Hill parcel (PIN 27-05-302-007-0000) from public open space to compensatory storage for the 143<sup>rd</sup> St widening project. Inquiries with staff to get clarity on this idea were unsuccessful in the past 2 years. Nevertheless the Commission reminded Development staff this parcel is considered protected open lands. However, today, we note that proposed improvements map (in brochure for virtual meeting on 143<sup>rd</sup> St) for widening 143<sup>rd</sup> St clearly shows this parcel as "Proposed Compensatory Storage Grading." The EPS department never formally discussed this land use conversion and oak grove destruction, mitigation and/or compensation with the Commission prior to this project proposal. The people of Orland Park own this parcel and not the EPS department. The whole concept of Open Lands is based on site protection for present and future residents of the area's natural and historical areas (Ord 2797).

FTR: this parcel was purchased by the Open Lands Fund Commission in 2014 for preservation and passive recreation for the residents of the Village. As a general rule, Open Lands purchases are permanent natural areas for the



enjoyment of its residents. The natural features of the site include remnants of an old oak grove that overlooks Long Run Creek, its surrounding headwaters wetlands and other landscape views. It was not purchased for transportation needs of either the SOI, VOP, or other agencies or departments. It was paid for with funds dedicated to Open Lands of Orland Park.

Details of Purchase: 10/24/2014 Acres: ~~4.127~~ 4.9  
(corrected) Approved for Purchase Open Lands Board Meeting:  
8/26/14 Cost: \$73,707.00 Funds Source: Donations to the Open  
Lands Fund

Interestingly, this public lands parcel is not discussed in the 143<sup>rd</sup> St project's brochure sidebar titled "Use of Public and Historic Lands". Even if it was noted, this is not "de minimis" taking of land – it is the destructive conversion of an old oak hill into a storage basin. Indeed, the trails planned for the north side of 143<sup>rd</sup> St could create recreational foot access to this site and enhance public appreciation of this remnant natural feature.

The Commission, as a stakeholder and funding partner for this site, should have been included in the Phase I planning process to avoid these conflicts.

The transfer of this parcel to transportation is not consistent with the purposes or goals of the ordinance creating the Commission or its sister organization, the Orland Park Open Lands Corporation. As such, we view both the Village and the Illinois Department of Transportation as lacking permission to convert this parcel from a natural area to a non-conservation use (based on prior opinion of Village Attorney, 7/9/2002 letter, Ken Fricker) without any consideration to the Commission's purchase intent. We also suspect that other rules and policies of IDOT and other agencies require permits, environmental impact surveys and/or justification of taking public conservation lands without consult, disclosure or compensation for a project like this. On behalf of the Commission, we ask you remove this parcel from the 143<sup>rd</sup> St project and revise engineering plans to reflect that.

Respectfully,

A large black rectangular redaction box covering the signature and name of the sender.



**From:** [REDACTED]  
**To:** [eps@orlandpark.org](mailto:eps@orlandpark.org); [Matthew Huffman](#)  
**Subject:** Orland Park 143rd Street Widening Project: Resident Comments  
**Date:** Saturday, January 9, 2021 4:31:50 PM

---

Hello,

As a resident of the Village of Orland Park for 24 years and [REDACTED]  
[REDACTED] I would like to offer my comments regarding the 143rd Street widening project planned for the 1.7-mile section between Southwest Highway on the east and Wolf Road on the west.

In viewing the You Tube video and exhibits for the 12/17/20 Virtual Public Meeting, it first came to my attention in the "Phase I Study Process" exhibit that the project is at the point between evaluating alternatives and determining the preferred alternative. However, in the earliest "Data Collection" stage of the Phase I study, "Environmental Survey" and "Special Lands Identification" are two tasks that seemingly were not addressed for the Village-owned property planned for use as compensatory floodwater storage. The 4.99-acre (217,665 SF) site planned for compensatory storage is an Open Lands parcel purchased by the Village using public funds in 2014.

The proposed compensatory storage site, which is located at 11100 W. 143rd Street, is referred to as "Old Oak Hill" by the Open Lands Fund Commissioners. Several native living oak tree species – bur, white and red – occur on the property, and several have diameters at breast height (DBH) of 26"-35". Using the DBH and the species growth factor formula provided by the International Society of Arboriculture, the estimated age of those trees is greater than 100 years. In addition, the Village of Orland Park considers trees having a diameter of 24" or more as "heritage" trees which are protected under a Village ordinance; I will expand on heritage trees later in my comments.

The purchase of this Open Lands property is public information and reached a wider audience outside of the Village residents in part due to the "Orland Park Adds to Open Lands Holdings" article published in the Chicago Tribune on 10/7/14. (A link to this newspaper article is copied below). As public land, it should be identified as such on the "Existing Conditions" exhibit in green according to the legend on that exhibit.

[Orland Park adds to Open Lands holdings - Chicago Tribune](#)

The Village of Orland Park Open Lands Fund Commission was established in 1995 and operates under original Ordinance 3169. Per the Village of Orland Park Village Code, Title 2 Chapter 11, the responsibilities of the Open Lands Commission include the identification of natural areas for preservation or acquisition, "including habitats for endangered and threatened species, high quality natural communities, wetlands and other areas with unique or unusual natural heritage qualities". The Old Oak Hill site includes wetlands and has the unique quality of 100+ year old native oak trees.

In addition, per the Orland Park Land Development Code, Article 6, Part 2, Section 6-213, Open Lands Zoning Districts were established under Ordinance 4217. As stated in Subsection A of Section 6-213, "The purpose of the Open Lands District is to protect the Village's parks, natural areas, retention ponds, detention basins and open land corridor connections. It is also to ensure

permanent access to outdoor recreation and natural areas for residents in all neighborhoods and to enhance the value of nearby properties”. One of the permitted uses listed in Subsection B is “natural areas and passive parks for the purpose of preservation of native flora and fauna and establishing wildlife corridors”. Old Oak Hill was selected by the Open Lands Commission exactly for the reasons stated in Subsection B.

In addition to various permitted uses listed in Subsection B, Section 6-213 includes prohibited uses of Open Lands in Subsection C. Subsection C prohibits on Open Lands “any private development of structures or facilities” (except for cemetery or ComEd facilities), and “any public facilities unrelated to the operation or protection of parks, natural areas and retention/detention areas”. The compensatory storage area not only would destroy the old oak habitat that the Village ordinance was written to protect, but would be a prohibited use of the property, as the storage area is intended to compensate for earth fill of natural floodplain (of Long Run Creek), not to retain or detain stormwater release. [However, regarding stormwater, the intent of Subsection C could be to protect any retention or detention area that was already existing on a parcel at the time the parcel was purchased under the Open Lands program, rather than allow creation of a new retention or detention area on the parcel].

As mentioned earlier in my comments, many of the oak trees growing on Old Oak Hill are estimated to be 100+ years old based on DBH and the growth factor for the species. This leads me to another section of the Orland Park Land Development Code, Section 6-305, “Landscape and Tree Preservation”, adopted under original Ordinance 5061. Under Section 6-305, Subsection F.3.b, “No Village official, unless the tree is a safety hazard, shall issue a permit provided herein in violation of the requirements of this section. 1. The removal of any heritage tree, defined as any healthy tree that is twenty-four (24) inches in diameter, or greater, measured four (4) feet from the ground, from any lot, developed or undeveloped”. Therefore, it is against the Village Code to remove any of the healthy heritage oaks, or any other species of healthy heritage tree that might exist, at the Old Oak Hill property.

In summary, I will conclude with the following reasons for which I believe the Village-owned Open Lands public property located at 11100 W. 143rd Street, known as Old Oak Hill to the Open Lands Commissioners, cannot, and must not, be used for compensatory floodwater storage:

1. At the earliest stage of Phase I, the project failed to identify this parcel as a preserved public open natural area paid for and owned by the Village of Orland Park under the Open Lands program. As such, it ignores the impact on this site, and the public today likely would not otherwise know this. The 2014 Chicago Tribune newspaper article acknowledged the parcel’s purchase to a wider audience outside of Orland Park, but might not be remembered now in 2020 and 2021. As stated earlier, this parcel should be identified as public land in accordance with the legend on the exhibit map.
2. The property was purchased by the Village of Orland Park with public funds as an Open Lands site under the provisions of the Village’s ordinances for the Open Lands Fund Commission and Open Lands Districts, and as such, must be used in accordance with those ordinances, i.e., for the preservation of natural habitat, flora and fauna, but which can



include construction of passive parks (such as with foot paths or bike trails). Compensatory floodwater storage is not a permitted use of a property purchased under the Village's Open Lands ordinances.

3. The property has the distinction of having living 100+ year old seemingly healthy native oak trees with DBH greater than 24". Therefore, those trees are deemed "heritage" trees by Village ordinance and are protected from removal (unless they pose a safety hazard) by that same ordinance.

Lastly, the residents and the Village of Orland Park administration and officials generally support the preservation of trees and natural areas in their community. The Village of Orland Park has received the annual Arbor Day Foundation "Tree City USA" designation at least 27 times according to an article posted on the Village's Web site.

Therefore, I urge the Engineering firm's Project Team to review compensatory storage with the Village of Orland Park's Engineering Department, and to determine a suitable location for compensatory storage. In accordance with Village ordinances, the Old Oak Hill parcel must not be used for this purpose.

[REDACTED]

**From:** [REDACTED]  
**To:** [Matthew Huffman; eps@orlandpark.org](mailto:eps@orlandpark.org)  
**Subject:** [143rd St Public Meet] Online Comments - new submission  
**Date:** Saturday, January 9, 2021 4:31:01 PM

---

[REDACTED] just submitted your form: Online Comments  
on [143rd St Public Meet](#)

**Message Details:**

First Name\*: [REDACTED]

Last Name\*: [REDACTED]

Phone\*: [REDACTED]

Email Address\*: [REDACTED]

Home Address\*: [REDACTED]

Representing: Resident of Orland Park

Type your message here\*: Hello, As a resident of the Village of Orland Park for 24 years and [REDACTED]

[REDACTED], I would like to offer my comments regarding the 143rd Street widening project planned for the 1.7-mile section between Southwest Highway on the east and Wolf Road on the west. In viewing the You Tube video and exhibits for the 12/17/20 Virtual Public Meeting, it first came to my attention in the "Phase I Study Process" exhibit that the project is at the point between evaluating alternatives and determining the preferred alternative. However, in the earliest "Data Collection" stage of the Phase I study, "Environmental Survey" and "Special Lands Identification" are two tasks that seemingly were not addressed for the Village-owned property planned for use as compensatory floodwater storage. The 4.99-acre (217,665 SF) site planned for compensatory storage is an Open Lands parcel purchased by the Village using public funds in 2014. The proposed compensatory



storage site, which is located at 11100 W. 143rd Street, is referred to as “Old Oak Hill” by the Open Lands Fund Commissioners. Several native living oak tree species – bur, white and red – occur on the property, and several have diameters at breast height (DBH) of 26”-35”. Using the DBH and the species growth factor formula provided by the International Society of Arboriculture, the estimated age of those trees is greater than 100 years. In addition, the Village of Orland Park considers trees having a diameter of 24” or more as “heritage” trees which are protected under a Village ordinance; I will expand on heritage trees later in my comments. The purchase of this Open Lands property is public information and reached a wider audience outside of the Village residents in part due to the “Orland Park Adds to Open Lands Holdings” article published in the Chicago Tribune on 10/7/14. As public land, it should be identified as such on the “Existing Conditions” exhibit in green according to the legend on that exhibit. The Village of Orland Park Open Lands Fund Commission was established in 1995 and operates under original Ordinance 3169. Per the Village of Orland Park Village Code, Title 2 Chapter 11, the responsibilities of the Open Lands Commission include the identification of natural areas for preservation or acquisition, “including habitats for endangered and threatened species, high quality natural communities, wetlands and other areas with unique or unusual natural heritage qualities”. The Old Oak Hill site includes wetlands and has the unique quality of 100+ year old native oak trees. In addition, per the Orland Park Land Development Code, Article 6, Part 2, Section 6-213, Open Lands Zoning Districts were established under Ordinance 4217. As stated in Subsection A of Section 6-213, “The purpose of the Open Lands District is to protect the Village’s parks, natural areas, retention ponds, detention basins and open land corridor connections. It is also to ensure permanent access

to outdoor recreation and natural areas for residents in all neighborhoods and to enhance the value of nearby properties”. One of the permitted uses listed in Subsection B is “natural areas and passive parks for the purpose of preservation of native flora and fauna and establishing wildlife corridors”. Old Oak Hill was selected by the Open Lands Commission exactly for the reasons stated in Subsection B. In addition to various permitted uses listed in Subsection B, Section 6-213 includes prohibited uses of Open Lands in Subsection C. Subsection C prohibits on Open Lands “any private development of structures or facilities” (except for cemetery or ComEd facilities), and “any public facilities unrelated to the operation or protection of parks, natural areas and retention/detention areas”. The compensatory storage area not only would destroy the old oak habitat that the Village ordinance was written to protect, but would be a prohibited use of the property, as the storage area is intended to compensate for earth fill of natural floodplain (of Long Run Creek), not to retain or detain stormwater release. [However, regarding stormwater, the intent of Subsection C could be to protect any retention or detention area that was already existing on a parcel at the time the parcel was purchased under the Open Lands program, rather than allow creation of a new retention or detention area on the parcel]. As mentioned earlier in my comments, many of the oak trees growing on Old Oak Hill are estimated to be 100+ years old based on DBH and the growth factor for the species. This leads me to another section of the Orland Park Land Development Code, Section 6-305, “Landscape and Tree Preservation”, adopted under original Ordinance 5061. Under Section 6-305, Subsection F.3.b, “No Village official, unless the tree is a safety hazard, shall issue a permit provided herein in violation of the requirements of this section. 1. The removal of any heritage tree,



defined as any healthy tree that is twenty-four (24) inches in diameter, or greater, measured four (4) feet from the ground, from any lot, developed or undeveloped". Therefore, it is against the Village Code to remove any of the healthy heritage oaks, or any other species of healthy heritage tree that might exist, at the Old Oak Hill property. In summary, I will conclude with the following reasons for which I believe the Village-owned Open Lands public property located at 11100 W. 143rd Street, known as Old Oak Hill to the Open Lands Commissioners, cannot, and must not, be used for compensatory floodwater storage: 1. At the earliest stage of Phase I, the project failed to identify this parcel as a preserved public open natural area paid for and owned by the Village of Orland Park under the Open Lands program. As such, it ignores the impact on this site, and the public today likely would not otherwise know this. The 2014 Chicago Tribune newspaper article acknowledged the parcel's purchase to a wider audience outside of Orland Park, but might not be remembered now in 2020 and 2021. As stated earlier, this parcel should be identified as public land in accordance with the legend on the exhibit map. 2. The property was purchased by the Village of Orland Park with public funds as an Open Lands site under the provisions of the Village's ordinances for the Open Lands Fund Commission and Open Lands Districts, and as such, must be used in accordance with those ordinances, i.e., for the preservation of natural habitat, flora and fauna, but which can include construction of passive parks (such as with foot paths or bike trails). Compensatory floodwater storage is not a permitted use of a property purchased under the Village's Open Lands ordinances. 3. The property has the distinction of having living 100+ year old seemingly healthy native oak trees with DBH greater than 24". Therefore, those trees are deemed "heritage" trees by Village ordinance and are protected from removal

(unless they pose a safety hazard) by that same ordinance. Lastly, the residents and the Village of Orland Park administration and officials generally support the preservation of trees and natural areas in their community. The Village of Orland Park has received the annual Arbor Day Foundation "Tree City USA" designation at least 27 times according to an article posted on the Village's Web site. Therefore, I urge the Engineering firm's Project Team to review compensatory storage with the Village of Orland Park's Engineering Department, and to determine a suitable location for compensatory storage. In accordance with Village ordinances, the Old Oak Hill parcel must not be used for this purpose. Sincerely, [REDACTED]

---

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ORLAND  
PARK

# 143<sup>RD</sup> STREET IMPROVEMENTS WOLF ROAD TO SOUTHWEST HIGHWAY

## PHASE I ENGINEERING STUDY

### VIRTUAL PUBLIC MEETING COMMENT FORM

The Village of Orland Park is conducting a Virtual Public Meeting related with the 143rd Street Phase I Preliminary Engineering and Environmental Study. The 143rd Street study area is from Wolf Road on the west to Southwest Highway on the east, a distance of 1.7 miles.

Your input is valuable and the Village is committed to including stakeholders in the development of the project. A Virtual Public Meeting is being held from December 10, 2020 to January 11, 2021, where project information is provided on a Virtual Public Meeting web page. A live virtual project presentation will be held on December 17, 2020 at 6pm, which will be recorded and posted to the Virtual Public Meeting web page. You can visit the Virtual Public Meeting web page [www.143rdStreetProject.com](http://www.143rdStreetProject.com) for project information. You can either download this form or submit a comment directly through the Virtual Public Meeting web page.

This meeting is an opportunity for you to provide comments on the:

- Proposed Improvements for 143rd Street (Wolf Road to Southwest Highway)
- Use of property (0.51 acres of permanent easement; 0.15 acres of temporary construction easement) from the McGinnis Slough Forest Preserve associated with the proposed improvements. The Village intends to seek a *de minimis* impact finding from the Federal Highway Administration (FHWA) based on the project not adversely affecting the features, attributes or activities qualifying the properties for protection under U.S. DOT Section 4(f).
- Use of property (0.17 acres of right-of-way; 0.05 acres of temporary construction easement) from seven historic resources associated with the proposed improvements, including the Old Orland Local Historic District. The Village intends to seek a *de minimis* impact finding from the Federal Highway Administration based on the project not adversely affecting the features, attributes or activities qualifying the properties for protection under U.S. DOT Section 4(f).

You may submit your Comment Form using one of the following methods:

- Fold in thirds, tape shut, and submit via mail;
- Fax to (847) 823-0520; or
- Scan and e-mail to [mhuffman@cbbel.com](mailto:mhuffman@cbbel.com)

To be included in the virtual Public Meeting record, please submit comments by Monday, January 11, 2021.

Please check one: ☐ Owner ☐ Resident (Tenant)

Name (Please Print Clearly):

Mailing Address:

Phone:

Email:

Comments: ① Move Road north, bike path south from Crystal Tree to West Ave. Why?

A) Safety - No kids or Adults crossing 5 lane Rd to access from neighborhood

B) Snow plows won't be throwing snow & ice on residential property

② Build Wall/Fence & Add landscaping from Ridge to Highland to Add privacy and sound barrier. ③ Reduce speed limit to 25 MPH eastbound from Crystal Tree to West Ave. ④ Turn Ridge Ave into Cul-de-Sac with no access to 143<sup>rd</sup> Street from Ridge - less accidents.

**From:** [REDACTED]  
**To:** [eps@orlandpark.org](mailto:eps@orlandpark.org); Matthew Huffman  
**Subject:** Orland Park 143rd Street Widening Project:Resident Comments  
**Date:** Sunday, January 10, 2021 11:35:02 AM

---

I am a resident of Orland Park for 25 years and [REDACTED]  
[REDACTED] The e-mail you have  
received from member Jeanne Stacey expresses my sentiments completely  
I can only add that altho progress goes on as population increases it seems  
to me that Heritage tree sites should not be considered. Please review Jeanne's e-  
mail as it contains all that needs to be considered.

Sincerely ,

[REDACTED]



**From:** [REDACTED]  
**To:** [Matthew Huffman](#); [eps@orlandpark.org](mailto:eps@orlandpark.org)  
**Subject:** [143rd St Public Meet] Online Comments - new submission  
**Date:** Sunday, January 10, 2021 10:52:19 PM

---

[REDACTED] just submitted your form: Online Comments  
on [143rd St Public Meet](#)

**Message Details:**

First Name\*: [REDACTED]

Last Name\*: [REDACTED]

[REDACTED]

Email Address\*: [REDACTED]

Home Address\*: [REDACTED]

Representing: Homeowner

Type your message here\*: Will there be a guardrail to protect the homes between West Ave and Ridge Ave.? What will the new speed limit be? Is it possible to move the road to the north (between West Ave. and Ridge Ave)? Will the lanes be reduced between West Ave and the train tracks, the businesses are almost on the street right now? What will be done to help prevent more traffic going into our neighborhood, with the future increase in traffic? If the project is not fully funded, what will the phases be (will cook to Wolf, Wolf to 108th, 108th to West Ave, and West Ave to the train?

---

To edit your email settings, go to your Inbox on desktop.

**From:** [REDACTED]  
**To:** [Matthew Huffman; eps@orlandpark.org](mailto:Matthew.Huffman@eps@orlandpark.org)  
**Subject:** [143rd St Public Meet] Online Comments - new submission  
**Date:** Sunday, January 10, 2021 10:29:25 PM

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[REDACTED] just submitted your form: Online Comments  
on [143rd St Public Meet](#)

**Message Details:**

First Name\*: [REDACTED]

Last Name\*: [REDACTED]

Phone\*: [REDACTED]

Email Address\*: [REDACTED]

Home Address\*: [REDACTED]

Representing: -

Type your message here\*: This is too big a project to do virtually. I suggest delaying it so that homeowners can attend a village board meeting to make their voices heard and get direct feedback from their elected officials.

---

To edit your email settings, go to your Inbox on desktop.





**From:** [REDACTED]  
**Subject:** [Matthew Huffman; eps@orlandpark.org](mailto:eps@orlandpark.org)  
**Date:** [143rd St Public Meet] Online Comments - new submission  
Sunday, January 10, 2021 10:25:50 AM

---

[REDACTED] just submitted your form: Online Comments  
on [143rd St Public Meet](#)

**Message Details:**

First Name\*: [REDACTED]

Last Name\*: [REDACTED]

Phone\*: [REDACTED]

Email Address\*: [REDACTED]

Home Address\*: [REDACTED]

Representing: -

Type your message here\*: I respectfully voice strong opposition to this proposed expansion. If it proceeds it will greatly decrease our quality of life with the significant increase in air and noise pollution, the danger to and loss of wildlife, danger to pedestrians and the disruption of a quiet residential area originally known as Old Tuckaway Meadows. It is apparent that little consideration has been given to our health, well being or the financial harm that would be caused by this large expansion. There are other options which should be considered. One example is the proposal to include the installation of traffic lights at the 143rd entrance to Crystal Tree for the convenience of those residents. Wouldn't a more practical solution be to install that traffic light at their 151st entrance where the road expansion has already been completed? I agree that the growth of our Village calls for some updates and well planned improvements. But, why is it that more consideration is shown to new construction, new residents and businesses than to those of us

in established areas? For example, when the new commuter train station was built it made it easy for new residents of the 9450 West complex, the newly constructed townhomes and those who drive to and park at the station. In spite of initial promises, no consideration was shown for the inconvenience and safety of those of us who walk to the commuter station. Those are just a few examples. Change is necessary and can be a good thing, when done well. However, it is very concerning to see that monetary interests are being placed over health, safety and lives. And very disappointing to see decisions being driven by power, ego and monetary gain over the quality of life. That kind of change doesn't enhance or improve our Village....it diminishes and harms it.

---

To edit your email settings, go to your Inbox on desktop.





**From:** [REDACTED]  
**Subject:** [REDACTED]  
**Date:** [REDACTED]  
[REDACTED] just submitted your form: Online Comments  
[REDACTED] [eps@orlandpark.org](mailto:eps@orlandpark.org)  
[143rd St Public Meet] Online Comments - new submission  
Sunday, January 10, 2021 2:32:46 PM

---

[REDACTED] just submitted your form: Online Comments  
on [143rd St Public Meet](#)

### Message Details:

First Name\*: [REDACTED]

Last Name\*: [REDACTED]

[REDACTED]

Email Address\*: [REDACTED]

Home Address\*: [REDACTED]

Representing: Property Owners

Type your message here\*: While we appreciate all the detailed information that was sent to us regarding the widening of 143rd Street from Southwest Highway to Wolf Road, we also thought it was in poor taste to send the information and, expect us to generate a response, during the Christmas Holidays not to mention a pandemic. We did attend the Zoom meeting that was held on December 17, 2020 at 6:00 PM. We have owned and lived in our residence for over 44 years. The residents and business owners long this stretch of 143rd Street have been dealing with this widening issue for over 30 years. Prior to 1990, Ders Anderson, the former planning director for the Village of Orland Park had suggested 155th Street as a corridor to I355. The then major of Orland Park and a now deceased village trustee, opted to build Centennial Park instead. Also considered was 131st Street on the north side of the village, but since most of this road is in the Village of Palos Park, the Village of Palos Park said this was not their problem and

vetoed the widening of 131st Street. This meant that the residents and businesses along 143rd Street were stuck. It was a done deal. While there have been countless townhall meetings and meetings of the local residents, none of our concerns have been properly addressed. Does this stretch necessarily have to be five lanes? Many of us already have 143rd Street in our faces with only a sidewalk between our house and the street. Five lanes will bring the street to our doorsteps, if not eliminating properties altogether. Couldn't it just be a two lane road with a turning lane in the center? This was suggested in the past and vetoed by the Village. Why? Why is a five foot walking/bike path needed on the north side of the road when there will be a perfectly good sidewalk on the south side of the road? Couldn't this be eliminated so the street can go further north and the residents and businesses on the south side of the street wouldn't have to give up so much of their properties? What will the speed limit be? We have a 30 MPH speed limit sign right on our property. Do you think anybody adheres to this? The section of road we live on has a very high rate of accidents per the Zoom video. Do you think once the street is widened to five lanes, a speed limit would be acknowledged by the drivers? I think not, since it's not followed now. Does anyone really think the accident rate will go down when there are five lanes? Again, I think not. What about the timing of the stop lights? I have waited over five minutes on more than one occasion to make a left hand turn (westbound) out of my driveway because the West Avenue traffic signal is not in sync with the 108th Street traffic signal and now there will be a third signal at Crystal Tree. With five lanes of traffic, I will never get out of my driveway to go westbound Why there? Why not put a stop light at all the side streets – Raneys Lane, etc. What about noise pollution? Ten foot sound barriers will be erected to the west of my property but the rest of us going east will only have the road in our



faces. No noise pollution barriers for us! We have been doing this dance for that last 30 years. The Village will still widen 143rd Street to five lanes, we will still have a five foot walking/biking path on the north side of the street, that isn't needed, we will still have the accidents because speed limits will not be adhered to, we will still have the noise pollution and we will still have a five lane road in our faces. While we are grateful for the opportunity to voice our concerns over this issue, we also feel all our efforts are futile. It's very sad that we residents and businesses do not matter after all these years and the Village will do what the Village wants. [REDACTED]

---

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**From:**

**Subject:**

143RD ST WIDENING PROJECT - CONCORDANCE W/LRC BASIN PLAN

**Date:**

Sunday, January 10, 2021 12:21:38 PM

**Attachments:**

[LRC Watershed Basin Plan 2014 Report.pdf](#)

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For the public hearing record for 143<sup>rd</sup> St widening project, we sharing with you the Long Run Creek Watershed Basin Plan 2014 that the VOP helped develop along with several other local agencies.

In designing the 143<sup>rd</sup> St widening project, we are wondering if you are using this plan to insure that the goals of the plan are not compromised while minimizing any negative impact on the LRC basin?

This portion of the 143<sup>rd</sup> St project appears to fall within the SMU 4 subwatershed with the SMU3 starting just west of Wolf Rd. We are wondering what BMP are being proposed for construction of this segment improvement?

Also...

1. Which portions of the NEPA and FHA policies are in play for this project?
2. Will the proposed compensatory storage basin discharge into the LRC watershed? If so, under what IDOT & FHA environmental rules will this feature comply with?
3. Is there an impact assessment for the storage area on the health of LRC?
4. Today numerous wetlands, which drain into LRC, are adjacent to this 143<sup>rd</sup> St roadway segment. What mitigation, enhancements or stewardship is planned to keep or improve the ecosystem services of these wetlands adjacent wetlands during and after construction?

Regards/

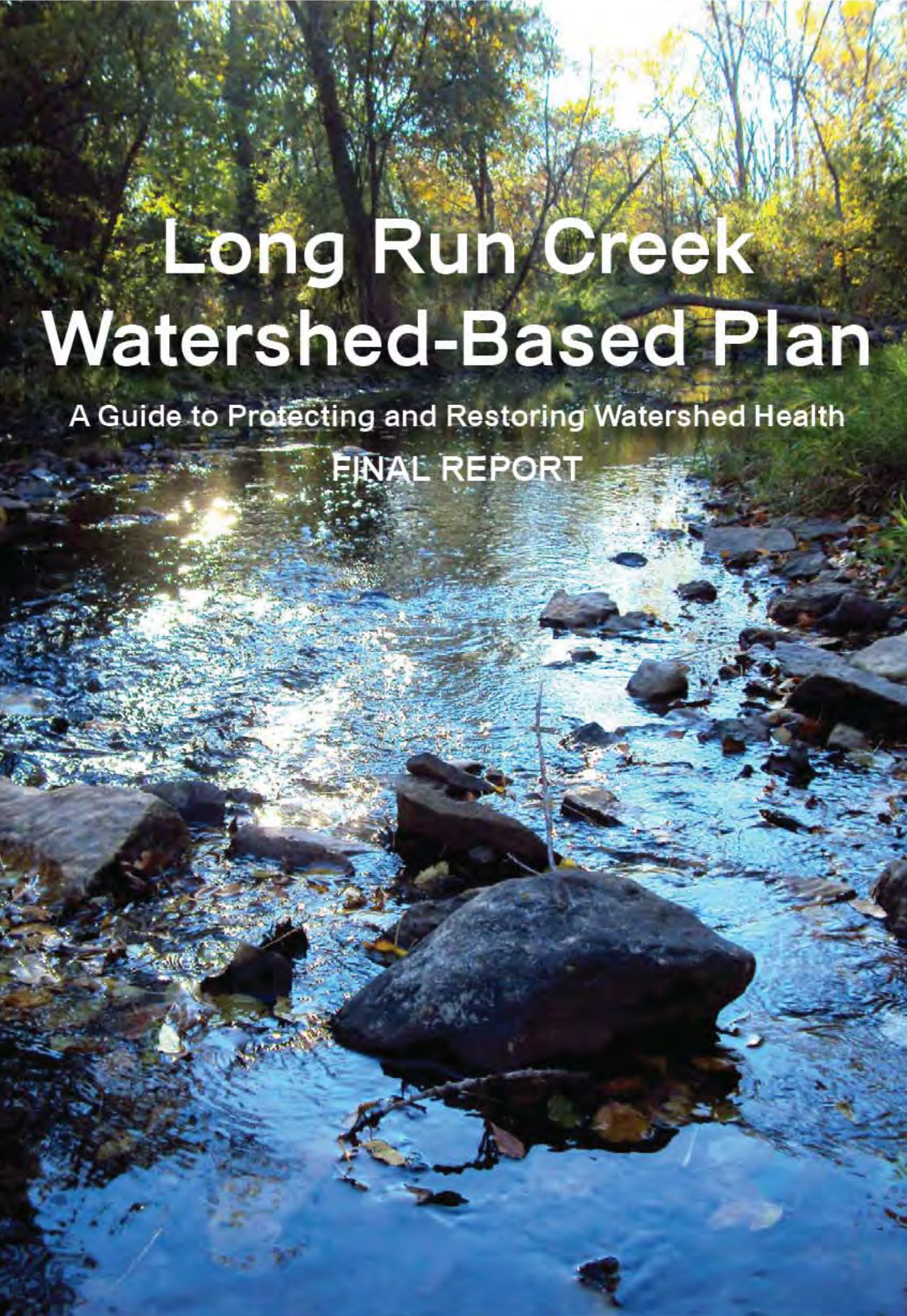
[Redacted signature block]



# Long Run Creek Watershed-Based Plan

A Guide to Protecting and Restoring Watershed Health

FINAL REPORT



Prepared for  
Long Run Creek Watershed Planning Committee  
By Applied Ecological Services, Inc.  
March 2014



Applied Ecological Services, Inc.





**From:** [REDACTED]  
**To:** [Matthew Huffman](#); [eps@orlandpark.org](mailto:eps@orlandpark.org)  
**Subject:** [143rd St Public Meet] Online Comments - new submission  
**Date:** Monday, January 11, 2021 4:21:09 PM

---

[REDACTED] just submitted your form: Online Comments  
on [143rd St Public Meet](#)

**Message Details:**

First Name\*: [REDACTED]

Last Name\*: [REDACTED]

Phone\*: [REDACTED]

Email Address\*: [REDACTED]

Home Address\*: [REDACTED]

Representing: Myself

Type your message here\*: With the Pandemic, there has not been enough distribution of this project plan. The impacts have changed since the Pandemic. Crash analysis data is moot as many are working from home. You are not going to see those volumes on the road. The train runs less as people are not going downtown, that causes less disruptions. It seems doubtful that Federal funds would be available for this unnecessary project.

---

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**From:** [REDACTED]  
**To:** [Matthew Huffman](#); [eps@orlandpark.org](mailto:eps@orlandpark.org)  
**Subject:** [143rd St Public Meet] Online Comments - new submission  
**Date:** Monday, January 11, 2021 5:29:58 PM

---

[REDACTED] just submitted your form: Online Comments  
on [143rd St Public Meet](#)

**Message Details:**

First Name\*: [REDACTED]

Last Name\*: [REDACTED]

Phone\*: [REDACTED]

Email Address\*: [REDACTED]

Home Address\*: [REDACTED]

Representing: -

Type your message here\*: Good Day, I have several concerns about widening 143rd to 5 lanes for the Tuckaway subdivision. The data that is projected on increased motor vehicular accidents if the improvement is not made as stated in your proposal is 82% by the year 2040. Also your data indicates that while there were crashes there were no fatalities. Is there data to reflect vehicular crashes and fatalities after 159th street was widened? I feel a multi lane highway would encourage increased speed which would result in deadlier accidents. According to Herty and Visconti (2018) "In fact, on multi-lane highways interactions among vehicles occur also with lane changing and we show that they strongly affect the level of potential conflicts" when there are more vehicles with more lanes there is greater potential for increased motor vehicle accidents. Thank you. [REDACTED]

**From:** [REDACTED]  
**To:** [Matthew Huffman; eps@orlandpark.org](mailto:eps@orlandpark.org)  
**Subject:** [143rd St Public Meet] Online Comments - new submission  
**Date:** Monday, January 11, 2021 9:11:49 PM

---

[REDACTED] just submitted your form: Online Comments  
on [143rd St Public Meet](#)

### Message Details:

First Name\*: [REDACTED]

Last Name\*: [REDACTED]

Phone\*: [REDACTED]

Email Address\*: [REDACTED]

Home Address\*: [REDACTED]

Representing: myself

Type your message here\*: As a resident of Orland Park, and someone who is in favor of preserving natural lands in this community, I do not support the project which plans to level and hollow out a location with 100-year-old oak trees and natural wetlands. We have enough developed land in Orland. 143rd street will continue to function adequately without this proposed "improvement plan". A new and more innovative plan that includes preserving these lands must be considered.

---

To edit your email settings, go to your Inbox on desktop.





**From:** [REDACTED]  
**To:** [Matthew Huffman; eps@orlandpark.org](mailto:eps@orlandpark.org)  
**Subject:** [143rd St Public Meet] Online Comments - new submission  
**Date:** Monday, January 11, 2021 5:32:30 PM

---

[REDACTED] just submitted your form: Online Comments  
on [143rd St Public Meet](#)

**Message Details:**

First Name\*: [REDACTED]

Last Name\*: [REDACTED]

Phone\*: [REDACTED]

Email Address\*: [REDACTED]

Home Address\*: [REDACTED]

Representing: [REDACTED]

Type your message here\*: Good Day, Here are my  
comments/questions: Has data been collected as to how the widening  
of 143rd street will impact the safety of the children at St. Michael's  
school? Has there been a study as to how a five lane road affects the  
safety of children? Why is there no mention of what will happen on the  
South portion of 143rd street which includes residents, businesses a  
school and church? If Park School is included, not only will we lose a  
landmark building, will taxpayers have to pay to have another school  
built to replace the exisiting school. None of these are mentioned in the  
proposal. I feel that this project should not move forward until an in  
person meeting can occur to allow questions and concerns to be  
addressed that affect the tax base of all of Orland Park and not just a  
few residents of Tuckaway. Are there any alternatives that have not  
presented or discussed such as a turning lane that would improve traffic  
flow. Thank you.

**From:** [REDACTED]  
**To:** [Matthew Huffman; eps@orlandpark.org](mailto:Matthew.Huffman@eps@orlandpark.org)  
**Subject:** [143rd St Public Meet] Online Comments - new submission  
**Date:** Monday, January 11, 2021 8:10:26 PM

---

[REDACTED] just submitted your form: Online Comments  
on [143rd St Public Meet](#)

### Message Details:

First Name\*: [REDACTED]

Last Name\*: [REDACTED]

Phone\*: [REDACTED]

Email Address\*: [REDACTED]

Home Address\*: [REDACTED]

Representing: My family

Type your message here\*: With traffic diminished due to the popularity of people who work from home, are you sure the prediction for the increase in traffic is still a valid concern? Should the project be reviewed, delayed or canceled before we proceed?

---

To edit your email settings, go to your Inbox on desktop.





**From:** [REDACTED]  
**To:** [Matthew Huffman; eps@orlandpark.org](mailto:eps@orlandpark.org)  
**Subject:** [143rd St Public Meet] Online Comments - new submission  
**Date:** Monday, January 11, 2021 10:45:57 PM

---

[REDACTED] just submitted your form: Online Comments  
on [143rd St Public Meet](#)

**Message Details:**

First Name\*: [REDACTED]

Last Name\*: [REDACTED]

Phone\*: [REDACTED]

Email Address\*: [REDACTED]

Home Address\*: [REDACTED]

Representing: -

Type your message here\*: Sought after communities have an intimate feel to them (Geneva, St Charles, Downers Grove, etc). Typically a downtown provides this feeling. Lacking a completed downtown, we look for other areas of Orland to provide this feel. The 143rd corridor with Forest Preserve on the north and historic Orland on the south provides this. You feel as though you are "entering" the town as you drive on this section of road. We already have what feels like super highways for east/west transportation on 159th street and north/south transportation on LaGrange Road and Harlem Avenue. People race by our town on these streets. They are not enjoying our town as they fly through. This section of 143rd street provides individuals the opportunity to take in our town. Schools, forest preserve, churches, historical landmarks are some of the contributors to the feel of our town. Gone are the days of the majority of people shopping in stores and going to restaurants causing massive amounts of traffic. Online orders

from stores arriving by one truck and food delivery services dropping off to several homes will continue to replace all the cars that use to be on the roads. In addition, expanding pavement into nature, disrupting wildlife and taking away much needed forest preserve seems archaic. Bringing nature back is what people crave, not slowly taking away what is left, one project at a time. As an Orland resident that lives west of Wolf Road and north of 143rd street, I use the proposed section of road almost every time I drive and I am never in unbearable traffic. Maybe people need more patience.

---

To edit your email settings, go to your [Inbox](#) on desktop.





**From:** [REDACTED]  
**To:** [Matthew Huffman; eps@orlandpark.org](mailto:eps@orlandpark.org)  
**Subject:** [143rd St Public Meet] Online Comments - new submission  
**Date:** Monday, January 11, 2021 9:19:25 PM

---

[REDACTED] just submitted your form: Online Comments  
on [143rd St Public Meet](#)

**Message Details:**

First Name\*: [REDACTED]

Last Name\*: [REDACTED]

Phone\*: [REDACTED]

Email Address\*: [REDACTED]

Home Address\*: [REDACTED]

Representing: My Neighborhood, St. Michael Parish, St. Michael School

Type your message here\*: This road construction to improve the 143rd Street corridor to widen it to five lanes worries me. I am nervous for the ins and outs of the neighborhood traffic, the ins and outs of the St. Michael Parish traffic, and the ins and outs of St. Michael School traffic. With a construction timeline greater than 5 years, I am not excited about this project. My children walk to school. If 143rd is under construction, 144th street becomes a drive through passage for more cars then we are use to while walking on streets with no sidewalks. The notifications of this project was not well advertised. Tonight, I can go to the village website and hit the tab "what's trending" and I can not find a link to this form/site/proposal. I believe that this project is a trending information yet I know more about holiday light recycling then I do about a major road construction near my house on social media. Please do not equate that the number of responses is low therefore everyone is complacent.

---

**From:** [REDACTED]  
**To:** [Matthew Huffman; eps@orlandpark.org](mailto:Matthew.Huffman@eps@orlandpark.org)  
**Subject:** [143rd St Public Meet] Online Comments - new submission  
**Date:** Monday, January 11, 2021 4:02:54 PM

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[REDACTED] just submitted your form: Online Comments  
on [143rd St Public Meet](#)

**Message Details:**

First Name\*: [REDACTED]

Last Name\*: [REDACTED]

Phone\*: 7084660857

Email Address\*: [REDACTED]

Home Address\*: [REDACTED]

Representing: myself and neighbors

Type your message here\*: I would suggest that a public meeting/hearing be held when Covid restrictions are lifted. This is a large project that seems to have questions unanswered about the homes on the South side of 143rd Street. For those effected to not hear answers in person with the opportunity for followup questions doesn't seem fair. Virtual presentation and individual on line comments may suffice for many applications but not something this large.

---

To edit your email settings, go to your Inbox on desktop.





**From:** [REDACTED]  
**To:** [Matthew Huffman](#)  
**Subject:** [REDACTED]  
**Date:** Monday, January 11, 2021 4:58:05 PM

---

[REDACTED]

Thank you!!!

**From:** [REDACTED]  
**To:** [Matthew Huffman](#)  
**Subject:** [REDACTED]  
**Date:** Monday, January 11, 2021 3:16:38 PM

---

Dear Matt and any or all whom this may concern...

This holiday season, amidst the darkness and chaos of the times, we received the greatest gift from [REDACTED], second [REDACTED]. The first location of my [REDACTED]

The gift - a zip drive for all family members of thousands of photos starting when the house I currently live in was built in the late 1960's. The view of the backyard, here on Ridge was the wide open field-well, swamp and property of the Murphy's best friends' the Andrews. (Andrew Corp. who sold the property to Crystal Tree in the 80's) To say generational best friends in this neighborhood, The Andrews were just one of many families sharing vacations and second homes for the summers spent in Cassopolis Michigan. I learned quickly 15 years ago, just how deeply rooted the late, [REDACTED] 60 plus years of Orland history and friendships reached. To this day, dozens of their neighbors and friends and own family members children and grandchildren are glittered still, all throughout the neighborhood. My other in [REDACTED] and her husband raised all 3 of her children blocks away in the former [REDACTED] whose service to Orland Park was a combined 34 years. [REDACTED] own kids went through St. Mike's to Sandburg and now thriving in their own careers and currently seeking residency of their own in this community. A hidden jewel, indeed, I seemed to have 'married into' the best kept secret of the Southwest Suburbs. [REDACTED] ...just to name a few of the multi-generational neighbors just within a block. And the very proud, [REDACTED] across the street is 97 and just employed our 10 year old to bring down and up her trash cans each week as of last summer.

[REDACTED] We can pick a home base, but make our living by traveling/touring throughout the world. While my husband held residences throughout the country, he came back to the sanctuary of his parent's home every chance he could. In the same way, before we married, I was living in Nashville as a full time musician. When I flew in for shows in Chicago, those first trips to Orland were like entering back into a time, the likes of Norman Rockwell would capture. Right turn onto 143rd making it to the train tracks....never ever making the light...but anticipating the passing of St. Mike's, (where I'd be baptized just a few years later there, newly married and pregnant with our first child.) and learning it was good luck to cross yourself every time...every time...you passed the church.

Once you reach Rainey's Lane (of which our daughter is named after via a song my husband wrote - the song also referred to by Stephen King in his novel, Rose Madder) you look for Oakley to turn left on because "you never are to ever ever turn right or left out of Ridge Ave. Always go to Oakley." It was far too dangerous to turn with the blind hill to the immediate West.

The first years of our daughter's life, visiting my in laws we noticed the increase in cars that would fly by the house here on Ridge with little regard to dogs, children or life in general. We just kept tight in the yard and driveway without much thought. Until the very painful time where we lost our second of both parents. We were presented with the option to take over the house and make this Orland Park history continue with our family. Not realizing...the house was going into foreclosure. So we made a very sentimental decision to use every dime we had to both buy back the house and reconstruct the aged home to raise our young daughter in. Blood, sweat and tears, full of humility and respect, learning so much about what it takes to salvage a home, we knew we would never take on such a project again for as long as we live. We met many and made friends throughout the process from the village to neighbors I had never met, willing to give and sacrifice so much for us and our pipe-dream plight. All brought to fruition by nothing short of miracles...or the will of energy sent by my daughter's grandparents.

The proposed construction and massive expansion of 143rd, comes as a sad surprise. Our immediate neighborhood already feeling the aggression and rise of speeding cars on a street lacking even one stop sign. Residents using the blind hill of Ridge as a launching pad to get to the end of Ridge at 147th. There are not stop signs or sidewalks while I'm aware many have fought for them being that there are at all times children learning how to ride bikes or the precursor, 'scooter'...at all times, also, an angry father can be found chasing after a speeding car that may have barely missed one of their own kin regardless of how close we all surround them. We are not naive to the idea of progress, and certainly aware of the buzz for over 10 years about a possible 3 lane expansion, but giving the benefit of the doubt that it is not widespread knowledge how far this \*new\* proposal got past our eyes and ears - I have yet to find a neighbor that is aware of what I just witnessed on the Orland Park website. Nobody knows anything about 5 lanes that will demolish the picturesque gateway to our 'Tuck Away' neighborhood. I have surveyed and measured and tried and tried to have an open mind about how this might truly benefit us, but then all I come up with is that it benefits only those in Crystal Tree as I see the only additional traffic lights the entire stretch is conveniently there (just seconds away from the one at 108th). Adding to their already existing and seemingly effective, 3 lane with turn lane entry. It would seem that there are more residents in Tuck Away than Crystal Tree, to start. While also examining the crash history on your presentation, it shows, indeed, that most of all accidents occur at the bottom of our hill...the already blind hill at the intersection of 143rd and Ridge. The danger presented at that intersection trying to cross multiple lanes of cars, either way, with the blind hill, will now be like playing chicken/Russian roulette. Not making it safer but much more dangerous for anyone to



get in or out of, Highland, Woodland Greenland, Rainey's, Ridge. Already one of the 3 most popular cut through/short cuts for outside traffic, this will also allow for inviting more cars in, more cars cutting through Ridge to 144th for short cuts because, again, we are the one street including onto 144th with no stop signs. (My feeling is none of this information is knew).

My point in taking the time out of my life to write this very very (although a mere slice) lengthy letter, is to show you all that we would have appreciated the same respect and thorough reach out to my family and all those in Tuck Away. It has come to my attention, also in the short time I have been aware, that trustees themselves are or were unaware of this new forward moving plan before a neighbor brought it to their attention. Perhaps if it had not been for the distractions of the Pandemic and many of our citizens mere survival at stake, that we could have all been more transparently notified and perhaps come to some sort of compromise.

Gutting out a Forest preserve, private properties, trees, sidewalks, historical landmarks and then adding walls and walled off 'walkways' inaccessible to our already limited walk areas and changing the story and storybook Neighborhood that we and so many scraped and fought to be a part of, is to put mildly, distasteful. This is not even to mention the potential for structural home damage that is inevitable as all of these houses are built on, after all, a swamp.

It's extra sad that we just got through the years of dust, debris and contaminants to find we will potentially endure this for the next decade.

Thank you, sincerely for your time, thought and future care of our community.

[REDACTED]

**From:** [REDACTED]  
**Subject:** [REDACTED]; [eps@orlandpark.org](mailto:eps@orlandpark.org)  
**Date:** [143rd St Public Meet] Online Comments - new submission  
Monday, January 11, 2021 8:55:17 AM

---

[REDACTED] just submitted your form: Online Comments  
on [143rd St Public Meet](#)

**Message Details:**

First Name\*: [REDACTED]

Last Name\*: [REDACTED]

Phone\*: [REDACTED]

Email Address\*: [REDACTED]

Home Address\*: [REDACTED]

Representing: -

Type your message here\*: We do not what to widen 143rd.

---

To edit your email settings, go to your Inbox on desktop.





**From:** [REDACTED]  
**To:** [Matthew Huffman; eps@orlandpark.org](mailto:Matthew.Huffman@orlandpark.org)  
**Subject:** [143rd St Public Meet] Online Comments - new submission  
**Date:** Monday, January 11, 2021 7:31:00 PM

---

[REDACTED] just submitted your form: Online Comments  
on [143rd St Public Meet](#)

### Message Details:

First Name\*: [REDACTED]

Last Name\*: [REDACTED]

Phone\*: [REDACTED]

Email Address\*: [REDACTED]

Home Address\*: [REDACTED]

Representing: -

Type your message here\*: We do not want to see the heart of Orland and Park School, St. Mike's, and many homes taken over by this project. We do not feel this will be an improvement to the village, but rather a negative impact on Orland Park.

---

To edit your email settings, go to your Inbox on desktop.





ORLAND  
PARK

# 143<sup>RD</sup> STREET IMPROVEMENTS WOLF ROAD TO SOUTHWEST HIGHWAY

## PHASE I ENGINEERING STUDY

### VIRTUAL PUBLIC MEETING COMMENT FORM

The Village of Orland Park is conducting a Virtual Public Meeting related with the 143rd Street Phase I Preliminary Engineering and Environmental Study. The 143rd Street study area is from Wolf Road on the west to Southwest Highway on the east, a distance of 1.7 miles.

Your input is valuable and the Village is committed to including stakeholders in the development of the project. A Virtual Public Meeting is being held from December 10, 2020 to January 11, 2021, where project information is provided on a Virtual Public Meeting web page. A live virtual project presentation will be held on December 17, 2020 at 6pm, which will be recorded and posted to the Virtual Public Meeting web page. You can visit the Virtual Public Meeting web page [www.143rdStreetProject.com](http://www.143rdStreetProject.com) for project information. You can either download this form or submit a comment directly through the Virtual Public Meeting web page.

This meeting is an opportunity for you to provide comments on the:

- Proposed Improvements for 143rd Street (Wolf Road to Southwest Highway)
- Use of property (0.51 acres of permanent easement; 0.15 acres of temporary construction easement) from the McGinnis Slough Forest Preserve associated with the proposed improvements. The Village intends to seek a *de minimis* impact finding from the Federal Highway Administration (FHWA) based on the project not adversely affecting the features, attributes or activities qualifying the properties for protection under U.S. DOT Section 4(f).
- Use of property (0.17 acres of right-of-way; 0.05 acres of temporary construction easement) from seven historic resources associated with the proposed improvements, including the Old Orland Local Historic District. The Village intends to seek a *de minimis* impact finding from the Federal Highway Administration based on the project not adversely affecting the features, attributes or activities qualifying the properties for protection under U.S. DOT Section 4(f).

You may submit your Comment Form using one of the following methods:

- a) Fold in thirds, tape shut, and submit via mail;
- b) Fax to (847) 823-0520; or
- c) Scan and e-mail to [mhuffman@cbbel.com](mailto:mhuffman@cbbel.com)

To be included in the virtual Public Meeting record, please submit comments by Monday, January 11, 2021.

Please check one: ☒ Owner ☐ Resident (Tenant)

Name (Please Print Clearly): \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Comments: Will I be compensated by the Village if the value of  
my home goes down because of this project?  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



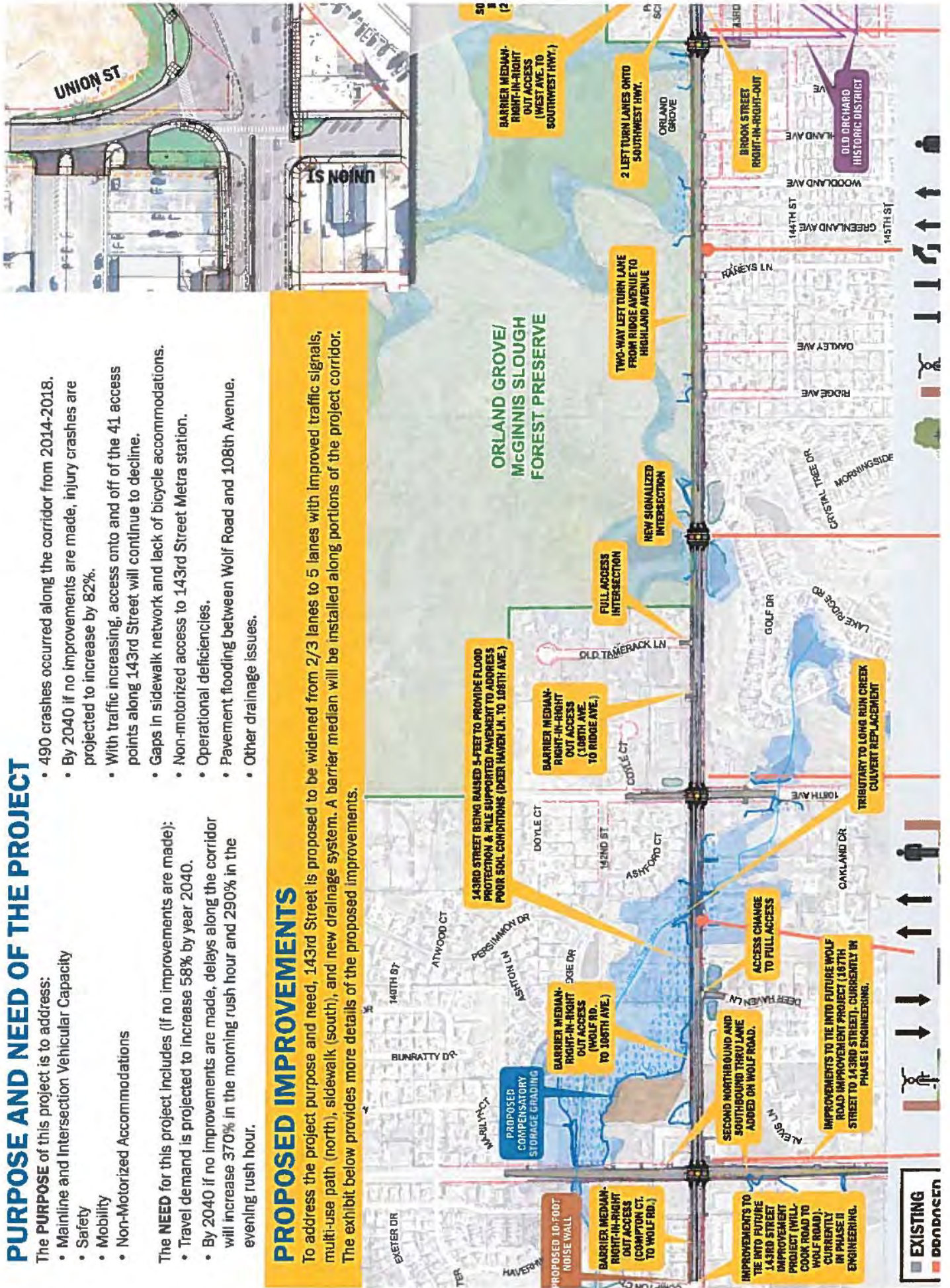
## PURPOSE AND NEED OF THE PROJECT

The **PURPOSE** of this project is to address:

- Mainline and Intersection Vehicular Capacity
  - Safety
  - Mobility
  - Non-Motorized Accommodations
- The **NEED** for this project includes (if no improvements are made):
- Travel demand is projected to increase 58% by year 2040.
  - By 2040 if no improvements are made, delays along the corridor will increase 370% in the morning rush hour and 290% in the evening rush hour.
- 490 crashes occurred along the corridor from 2014-2018.
  - By 2040 if no improvements are made, injury crashes are projected to increase by 82%.
  - With traffic increasing, access onto and off of the 41 access points along 143rd Street will continue to decline.
  - Gaps in sidewalk network and lack of bicycle accommodations.
  - Non-motorized access to 143rd Street Metra station.
  - Operational deficiencies.
  - Pavement flooding between Wolf Road and 108th Avenue.
  - Other drainage issues.

## PROPOSED IMPROVEMENTS

To address the project purpose and need, 143rd Street is proposed to be widened from 2/3 lanes to 5 lanes with improved traffic signals, multi-use path (north), sidewalk (south), and new drainage system. A barrier median will be installed along portions of the project corridor. The exhibit below provides more details of the proposed improvements.









## Old Oak Hill

Write a description for your map.

### Legend

- 11100 W 143rd St
- Music Way
- Pops Italian Beef & Sausage
- World Tanning


11100 W 143rd St








**Legend**

 11100 W 143rd St

 Pops Italian Beef & Sausage

 World Tanning

**Old Oak Hill - 11100 W. 143rd Street**

 11100 W 143rd St

Google Earth





## Orland Park adds to Open Lands holdings



Orland Park trustees approved purchasing this 4-acre site near 143rd Street and Wolf Road for the village's Open Lands program at a board meeting Monday. (Chicago Tribune)

**By Lauren Zumbach,**  
Tribune reporter

OCTOBER 7, 2014, 1:08 PM

**O**rland Park is adding a 4-acre plot with "historic" oak trees to its Open Lands property holdings.

Trustees voted to purchase the land at 11100 W. 143rd St. at a board meeting Monday. The village's Open Lands program purchases property to preserve as open space as the village develops.

The village bought the 4.1 acres at an online auction for about \$73,000.

Orland Park's Open Lands Commission identified the site as a priority because it is adjacent to existing Open Lands property, and a path may be added to connect the two sites, said Trustee Kathleen Fenton, the Village Board's liaison to the Open Lands Commission.

The farmhouse that once stood there is gone, but there are still oak trees that have been on the property "probably since Orland Park began," Fenton said. "It's significant for Open Lands."

In a separate matter, a long-delayed Italian deli appears to be making progress on plans to open in Orland Park.

**Fw: Orland Park 143rd Street Widening Project: Resident Comments**

[REDACTED]  
Sat 1/9/2021 4:36 PM

[REDACTED]

My comments were submitted 1/9/21 via the e-mail below and also on the project Web site.

Regards,  
[REDACTED]

---

**From:** [REDACTED]  
**Sent:** Saturday, January 9, 2021 4:31 PM  
**To:** eps@orlandpark.org <eps@orlandpark.org>; mhuffman@cbbel.com <mhuffman@cbbel.com>  
**Subject:** Orland Park 143rd Street Widening Project: Resident Comments

Hello,

As a resident of the Village of Orland Park for 24 years and [REDACTED]  
[REDACTED] I would like to offer my comments regarding the 143rd Street widening project planned for the 1.7-mile section between Southwest Highway on the east and Wolf Road on the west.

In viewing the You Tube video and exhibits for the 12/17/20 Virtual Public Meeting, it first came to my attention in the "Phase I Study Process" exhibit that the project is at the point between evaluating alternatives and determining the preferred alternative. However, in the earliest "Data Collection" stage of the Phase I study, "Environmental Survey" and "Special Lands Identification" are two tasks that seemingly were not addressed for the Village-owned property planned for use as compensatory floodwater storage. The 4.99-acre (217,665 SF) site planned for compensatory storage is an Open Lands parcel purchased by the Village using public funds in 2014.

The proposed compensatory storage site, which is located at 11100 W. 143rd Street, is referred to as "Old Oak Hill" by the Open Lands Fund Commissioners. Several native living oak tree species – bur, white and red – occur on the property, and several have diameters at breast height (DBH) of 26"-35". Using the DBH and the species growth factor formula provided by the International Society of Arboriculture, the estimated age of those trees is greater than 100 years. In addition, the Village of Orland Park considers trees having a diameter of 24" or more as "heritage" trees which are protected under a Village ordinance; I will expand on heritage trees later in my comments.

The purchase of this Open Lands property is public information and reached a wider audience outside of the Village residents in part due to the "Orland Park Adds to Open Lands Holdings" article published in the Chicago Tribune on 10/7/14. (A link to this newspaper article is copied below). As public land, it should be identified as such on the "Existing Conditions" exhibit in green according to the legend on that exhibit.

[Orland Park adds to Open Lands holdings - Chicago Tribune](#)

The Village of Orland Park Open Lands Fund Commission was established in 1995 and operates under original Ordinance 3169. Per the Village of Orland Park Village Code, Title 2 Chapter 11, the responsibilities of the Open Lands Commission include the identification of natural areas for preservation or acquisition, "including habitats for endangered and threatened species, high quality natural communities, wetlands and other areas with unique



or unusual natural heritage qualities". The Old Oak Hill site includes wetlands and has the unique quality of 100+ year old native oak trees.

In addition, per the Orland Park Land Development Code, Article 6, Part 2, Section 6-213, Open Lands Zoning Districts were established under Ordinance 4217. As stated in Subsection A of Section 6-213, "The purpose of the Open Lands District is to protect the Village's parks, natural areas, retention ponds, detention basins and open land corridor connections. It is also to ensure permanent access to outdoor recreation and natural areas for residents in all neighborhoods and to enhance the value of nearby properties". One of the permitted uses listed in Subsection B is "natural areas and passive parks for the purpose of preservation of native flora and fauna and establishing wildlife corridors". Old Oak Hill was selected by the Open Lands Commission exactly for the reasons stated in Subsection B.

In addition to various permitted uses listed in Subsection B, Section 6-213 includes prohibited uses of Open Lands in Subsection C. Subsection C prohibits on Open Lands "any private development of structures or facilities" (except for cemetery or ComEd facilities), and "any public facilities unrelated to the operation or protection of parks, natural areas and retention/detention areas". The compensatory storage area not only would destroy the old oak habitat that the Village ordinance was written to protect, but would be a prohibited use of the property, as the storage area is intended to compensate for earth fill of natural floodplain (of Long Run Creek), not to retain or detain stormwater release. [However, regarding stormwater, the intent of Subsection C could be to protect any retention or detention area that was already existing on a parcel at the time the parcel was purchased under the Open Lands program, rather than allow creation of a new retention or detention area on the parcel].

As mentioned earlier in my comments, many of the oak trees growing on Old Oak Hill are estimated to be 100+ years old based on DBH and the growth factor for the species. This leads me to another section of the Orland Park Land Development Code, Section 6-305, "Landscape and Tree Preservation", adopted under original Ordinance 5061. Under Section 6-305, Subsection F.3.b, "No Village official, unless the tree is a safety hazard, shall issue a permit provided herein in violation of the requirements of this section. 1. The removal of any heritage tree, defined as any healthy tree that is twenty-four (24) inches in diameter, or greater, measured four (4) feet from the ground, from any lot, developed or undeveloped". Therefore, it is against the Village Code to remove any of the healthy heritage oaks, or any other species of healthy heritage tree that might exist, at the Old Oak Hill property.

In summary, I will conclude with the following reasons for which I believe the Village-owned Open Lands public property located at 11100 W. 143rd Street, known as Old Oak Hill to the Open Lands Commissioners, cannot, and must not, be used for compensatory floodwater storage:

1. At the earliest stage of Phase I, the project failed to identify this parcel as a preserved public open natural area paid for and owned by the Village of Orland Park under the Open Lands program. As such, it ignores the impact on this site, and the public today likely would not otherwise know this. The 2014 Chicago Tribune newspaper article acknowledged the parcel's purchase to a wider audience outside of Orland Park, but might not be remembered now in 2020 and 2021. As stated earlier, this parcel should be identified as public land in accordance with the legend on the exhibit map.
2. The property was purchased by the Village of Orland Park with public funds as an Open Lands site under the provisions of the Village's ordinances for the Open Lands Fund Commission and Open Lands Districts, and as such, must be used in accordance with those ordinances, i.e., for the preservation of natural habitat, flora and fauna, but which can include construction of passive parks (such as with foot paths or bike trails). Compensatory floodwater storage is not a permitted use of a property purchased under the Village's Open Lands ordinances.
3. The property has the distinction of having living 100+ year old seemingly healthy native oak trees with DBH greater than 24". Therefore, those trees are deemed "heritage" trees by Village ordinance and are protected from removal (unless they pose a safety hazard) by that same ordinance.

1/10/2021

Mail - [REDACTED] Outlook

Lastly, the residents and the Village of Orland Park administration and officials generally support the preservation of trees and natural areas in their community. The Village of Orland Park has received the annual Arbor Day Foundation "Tree City USA" designation at least 27 times according to an article posted on the Village's Web site.

Therefore, I urge the Engineering firm's Project Team to review compensatory storage with the Village of Orland Park's Engineering Department, and to determine a suitable location for compensatory storage. In accordance with Village ordinances, the Old Oak Hill parcel must not be used for this purpose.





## CHAPTER 11

### OPEN LANDS FUND COMMISSION

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#### SECTION:

2-11-1: Establishment; Membership:

2-11-2: Powers And Duties:

2-11-3: Rules:

#### 2-11-1: ESTABLISHMENT; MEMBERSHIP:

(a) An Open Lands Fund Commission ("Commission") is hereby created for the Village. The Commission shall consist of seven (7) members appointed by the Village President, subject to confirmation by the Board of Trustees, one (1) of whom shall be appointed by the Village President to act as Chairperson. The appointments will be made on the basis of areas of interest or expertise. Each Commission member shall be a resident of the Village of Orland Park.

(Ord. 3169, 9-21-98; Amd. Ord. 4144, 6-5-06; Am. Ord. 5283, 3-19-18)

(b) Members shall be appointed for one (1) year terms beginning on the first Monday in June of each year and expiring on the first Monday in June of the following year. The Village President may remove any member for any reason whatsoever, subject to the approval of the Village Board of Trustees. Vacancies on the Board shall be filled as soon as possible for the unexpired term of the member whose place has become vacant.

(c) The Chairperson of the Commission shall serve in that capacity until his/her resignation, removal, replacement, or dissolution of the Commission. The Village President may at any time replace the Chairperson with any other member of the Commission for any reason whatsoever.

(d) The position of any Commission member who fails to attend three (3) consecutive Commission meetings without a valid reason, or who fail to attend one half (1/2) of the total of all Commission meetings scheduled or called during any one (1) year period may be declared vacant by a majority vote of the remaining members of the Commission.

(e) Commission members shall serve without compensation.

(Amd. Ord. 5283, 3-19-18)

#### 2-11-2: POWERS AND DUTIES:

The Commission shall have the following powers and duties:

(a) Act as an Advisory Commission to the Board of Trustees.

(b) Review, evaluate, identify and advise the present and future needs of the community to:

- (i) preserve natural areas, including habitats for endangered and threatened species, high quality natural communities, wetlands and other areas with unique or unusual natural heritage qualities.
- (ii) acquire natural areas, including habitats for endangered and threatened species, high quality natural communities, wetlands and other areas with unique or unusual natural heritage qualities.

(c) Review, evaluate and recommend to the Village Board all sources of funding for maintaining and acquiring open lands which are available to the Village under any federal or state programs, grants or legislation.

(d) Review the possible need for professional consultant(s) to assist in the open lands acquisition and funding review and evaluation process and to make recommendations to the Village Board for the selection of a consultant(s) and to describe the work which the consultant(s) will be retained to perform.

(e) Perform such other duties as the Village Board may direct.

(Amd. Ord. 5283, 3-19-18)

#### 2-11-3: RULES:

(a) The Commission may establish rules concerning procedure, meetings and operation of the Commission consistent with the rules of the Village Board and in accord with all codes, ordinances and resolutions of the Village and applicable law.

(b) All meetings of the Commission shall be open to the public and in conformance with the Illinois Open Meetings Act.

(c) A quorum for any meeting shall be a majority of all duly appointed members of the Commission.

(d) The Commission shall meet once each month and at such other times as it may deem necessary; special meetings

Freedom of Information Act. Copies of minutes shall be filed with the Village Clerk.

(Amd. Ord. 5283, 3-19-18)



## PART 1: ZONING DISTRICTS AND MAP

### SECTION 6-101. ZONING DISTRICTS ESTABLISHED.

(Entire Section Amended by Ord. 4374 - 6/2/08)

A. **Purpose.** In order to carry out the goals and objectives of the Comprehensive Plan of the Village and the purposes of these regulations, the following districts are hereby created:

1. E-1 Estate Residential District
2. R-1 Residential District
3. R-2 Residential District
4. R-3 Residential District
5. R-4 Residential District
6. LSPD Large Scale Planned Development District (Ord. 2514 - 1/17/94)
7. RSB Residential/Supporting Business District
8. BIZ General Business District
9. MFG Manufacturing District
10. OOH Old Orland Historic District
11. COR Mixed Use Core District
12. ORI Mixed Use Office, Research & Industrial District
13. VC Village Center District (Ord. 2746 - 6/5/95)
- 14. OL Open Lands District (Ord. 4217 - 2/5/07)
15. RMC Regional Mixed-Use Campus (Ord. 5168 – 2/20/17)

B. **Boundaries.** The boundaries of these districts are described on the Zoning District Map, attached hereto and incorporated herein.

### SECTION 6-102. ZONING DISTRICT MAP.

A. **Purpose.** The purpose of the Zoning District Map is to set forth the boundaries of the zoning districts established in Section 6-101 as they may be applied from time to time to all land within the corporate limits of the Village.

B. **Interpretation of Boundaries.** Where uncertainty exists with respect to the boundaries of the zoning districts shown on the Zoning District Map amended from time to time in accordance with the provisions of Section 5-108 of these regulations, the following rules shall be used to interpret the maps:

1. In cases where a boundary line is located within a street or alley right-of-way, railroad or utility line right-of-way, easement, or navigable or non-navigable waterway, it shall be considered to be in the center of the right-of-way, easement or waterway. If the actual location of such right-of-way, easement, or waterway varies slightly from the location as shown on the map, then the actual location shall control.
2. In cases where the map shows a boundary line as being located a specific distance from a street line or other physical feature, this distance shall control.

b. **For Non-Contributing Structures** .

A Certificate of Appropriateness for Demolitions is not required, and petitioners may apply directly to the Development Services Department for a demolition permit.

c. **Exceptions** .

The petitioner may procure a demolition permit directly from the Village for landmarks or contributing structures if the following conditions apply:

1. The building is an immediate danger to the health, safety or welfare of the occupants or that of the general public; and/ or
2. The building is structurally unstable and cannot be safely occupied.

Both conditions must be confirmed by the Development Services Department prior to the issuance of the permit.

2. **Demolition Standards** .

a. **For All Proposals Requiring a Certificate of Appropriateness for Demolition** .

The petitioner must respond in writing to all of the following Demolition Standards and submit to the Development Services Department with the completed Certificate of Appropriateness application:

1. That the building or structure is not structurally sound;
2. That the property in question cannot yield a reasonable return if the building or structure were retained; and
3. That the cost of repair of the building or structure exceeds the value of the land and the building, thus creating an economic hardship for the owner.
4. That a historic landmark survey has been conducted and documents the historical and architectural significant of the building or site per Section 5-110.E.2.c.

b. **The Petitioner is Responsible** .

The petitioner is responsible for submitting adequate documentation for each of the responses, as determined by the Development Services Department.

(Amd. Ord. 4940 - 11/3/14; Amd. Ord. 5312 – 7/16/18)

● **SECTION 6-213. OPEN LANDS DISTRICT**

(Entire Section Ord. 4217 - 2/5/07)

A. **Purpose.** The purpose of the Open Lands District is to protect the Village's parks, natural areas, retention ponds, detention basins and open land corridor connections. It is also to ensure permanent access to outdoor recreation and natural areas for residents in all neighborhoods and to enhance the value of nearby properties.

B. **Permitted Uses.** The following uses may be established as permitted uses in the OL District , in accordance with the procedures established in Sections 5-101 through 5-104:

1. Public recreational facilities including playgrounds, public swimming pools, playing fields, trails, sports activities, outdoor amphitheaters, camping areas, picnicking areas, boating areas, fishing activities, golf courses and accessory uses such as related parking, washrooms, storage, etc.
2. Natural areas and passive parks for the purpose of preservation of native flora and fauna and establishing wildlife corridors



3. Agricultural uses including cropfields, orchards, vineyards, grazing and community gardens
4. Retention ponds and detention basins
5. ComEd transmission towers and lines, substations and related facilities (including co-located wireless communication facilities) within established easements on privately and publicly owned land. (Ord. 4574 - 7/6/10)
6. Cemeteries including mausoleums, sepulchers, and related structures on privately owned land only
7. Commuter rail stations including accessory restaurant/retail uses within the station. (Ord. 5389 – 3/4/19)

C. **Prohibited Uses.** The following uses are prohibited as they would conflict with the purpose of protecting parks and natural areas:

1. Any private development of structures or facilities; the exception is cemetery and ComEd facilities as stated above;
2. Any public facilities unrelated to the operation or protection of parks, natural areas, and retention/detention facilities.

D. **Minimum Lot Size.** There is no minimum lot size.

E. **Setbacks.** Accessory buildings and structures cannot be placed closer than five (5) feet from an adjacent property line.

**VILLAGE OF ORLAND PARK**  
**SECTION 6-305: LANDSCAPE AND TREE PRESERVATION**  
**ADOPTED: JANUARY 18, 2016**

Original Ordinance: 5061  
Amended 9/20/2016 – Ordinance: 5126  
Amended 02/20/2017 – Ordinance 5167  
Amended 09/18/2017 – Ordinance 5221  
Amended 07/16/2018 – Ordinance 5312





## **SUMMARY OF CONTENTS**

### **GENERAL**

#### **A. Purpose**

#### **B. Applicability**

#### **C. Special Conditions**

#### **D. Landscape Zones**

- Landscape Parkways
- Landscape Corridors
- Landscape Bufferyards
- Foundation and Interior Landscape
- Parking Lot Area Landscape
- Signage Landscape
- Stormwater Management Areas Landscape

#### **E. Landscape Plan**

- Landscape Plan Requirements
- Additional Requirements
- Review and Approval
- Criteria for Approval

#### **F. Maintenance and Preservation**

- General Maintenance Standards
- Naturalized Landscape Area Maintenance Standards
- Monitoring and Management Plan
- Single-Family Residential Naturalized Landscaping
- Tree Preservation Standards
- Procedures to Obtain a Tree Removal Permit

#### **G. List of Recommended Plant Species**

**\* Click on any page number to return to this page.**

### 3. Tree Preservation Standards

a. **Purpose.** The purpose of this Section is to establish high preservation standards for all public and private properties within the Village, protect the Villages natural qualities and heritage, continue its reputation as an extension of the Forest Preserves, benefit the public at large as an asset to the neighborhoods, and become a source of identity and pride to the community. In addition to these high standards, this preservation ordinance specifically strives to accomplish the following:

1. Prevent soil erosion and sedimentation;
2. Reduce storm water runoff, replenish aquifers, and eliminate the costs associated with correcting the above;
3. Assist in the absorption of excess carbon dioxide in the atmosphere;
4. Create a sound buffer to noise pollution;
5. Provide protection against natural elements such as the sun, wind and rain;
6. Provide habitat for birds, which in turn, assists in the control of insects;
7. Protect and increase property values; and
8. Conserve and enhance the Village's environment, especially its natural setting, and to protect the habitat of its existing wildlife.

b. **Responsibility for Compliance.** The following actions require tree removal permits. No Village official, unless the tree is a safety hazard, shall issue a permit provided herein in violation of the requirements of this Section.

1. The removal of any heritage tree, defined as any healthy tree that is twenty-four (24) inches in diameter, or greater, measured four (4) feet from the ground, from any lot, developed or undeveloped;
2. The removal of any tree from a parkway;
3. The removal of any tree, in good or poor condition, from a conservation or tree preservation easement. Easements are legal recorded agreements tied to property most often shown on a plat of survey and/or plat of subdivision;
4. The removal of any tree from utility owned property or non-residential utility easement;
5. The removal of any tree from any property, commercial, institutional, office, industrial or multifamily residential, with an approved landscape plan.

c. **Fines.**

1. Failure to obtain a tree removal permit prior to removing trees will result in a fine of \$200.00 per inch of tree caliper that shall be levied against that entity primarily responsible for said tree removal. Each subsequent act of unauthorized tree removal by the same entity shall result in a fifty percent (50%) increase over the previous fine levy. This is in addition to the required tree mitigation. Trees removed



3. A parkway tree that is dead or dying may be removed without replacement if the tree is confirmed as dead or diseased by the Development Services Department or Public Works Department and with issuance of a tree removal permit.

**h. Procedures to Obtain a Tree Removal Permit For New Development.**

1. **Tree Mitigation Plan.** Developers of any site for any use other than a single family home seeking a site plan or landscape plan approval shall submit a Tree Mitigation Plan with the petition for development. A Tree Mitigation Plan shall include:
  - i. A tree survey showing the location, edge of dripline, species, diameter at breast height (DBH) and condition of every tree four (4) inches or larger, measured from four and a half (4.5') feet from the ground, on the property. The survey shall distinguish existing trees which are proposed to be destroyed, relocated, replaced, or preserved at their present location. The Development Services Department may require that the tree survey exclude those portions of the site which it determines will not be affected by the development activity.
  - ii. A tree mitigation report that highlights the quantity, diameter at breast height (DBH) and condition of trees to be removed and the quantity and caliper size of the required replacement trees pursuant to the replacement standards set forth in Section 6-305.F.3.f Tree Replacement Standards.
2. A tree survey and tree mitigation report, collectively known as a Tree Mitigation Plan, will be reviewed and approved by the Development Services Department through the landscape plan review process. Approval of a Tree Mitigation Plan shall be granted only if the Development Services Department finds that all reasonable efforts have been undertaken in the architectural layout and design of the proposed development to preserve existing trees and to otherwise enhance the aesthetic appearance of the development by the incorporation of trees in the design process. Relocation or replacement of trees may be required as a condition of approval in accordance with the criteria set forth in this Section. No tree removal shall take place until a Tree Mitigation Plan has been approved by the Development Services Department.

**i. Procedures to Obtain a Tree Removal Permit For Single Family Homes and Existing Development.**

1. All others requesting a tree removal permit shall fill out a tree removal permit application prescribed by the Development Services Department prior to its removal or relocation. The applicant shall provide the following information:
  - i. Information on the type of tree and the size of the tree under consideration;
  - ii. Reason(s) for the tree(s) removal/relocation;
  - iii. Photograph(s) of the condition and location of the tree in question;
  - iv. At least one full scale photo of the tree(s) showing its surrounding environment. Any photographs supporting the reason(s) for relocation/removal should be included;
  - v. A copy of the plat of survey for the property showing the location of the existing building(s) and outlining the location of the existing tree(s) in question. If the tree location/removal involves existing or proposed utilities, driveways, structures, easements or other pertinent site features, these should also be drawn in to scale. Plans may be drawn by property owners; and

3. Trees with a condition rated as 'Poor' or 'Dead' on a tree survey completed by a certified arborist are also exempt from mitigation requirements.
4. The owner of a site with landscaping that is unhealthful (i.e. spaced too closely) may be permitted to plant replacement trees in the parkway or elsewhere in the Village, if approved by Development Services Department.

5. **Cash in Lieu.**

If required mitigation trees, or any other tree required by Code, cannot be provided on the site, the petitioner shall pay cash in lieu of tree replacement in the amount of \$400 for each two and one-half (2.5) inch caliper deciduous canopy tree or eight (8) foot evergreen tree to the Village's Tree Preservation and Green Infrastructure Account. Such a fee in lieu of mitigation must be approved by the Development Services Department and can only be used when replacement on site is not possible. The quantity of trees requiring mitigation does not count towards a reduction in the quantity of trees or landscaping required by this Section.

The maximum cash in lieu amount for projects less than 10 acres in area is \$50,000. The maximum cash in lieu amount for projects greater than 10 acres in area is \$100,000. Any cash in lieu amount above the set maximum amount will be waived by the Village. A 10% reduction of Tree Mitigation cash in lieu amount will awarded if said fee is paid in full before or at time of final landscape plan approval.

6. **Tree Preservation and Green Infrastructure Account.**

The Tree Preservation and Green Infrastructure Account shall be used to support Village-initiated tree planting and green infrastructure projects located on public property within the Village of Orland Park and shall be administered by the Development Services Department. This account shall be used only for tree preservation and green infrastructure projects approved by the Village Board.

7. **Tree Preservation Credit.**

A credit of \$150 per caliper inch will be applied towards a project's tree mitigation fee for every healthy (fair to good) native tree preserved on site. Preservation credit shall be for the preservation of native Illinois trees only, or as determined by the Development Services Department. A Tree Preservation Credit shall never exceed the tree mitigation fee amount. Adherence to a Village approved Tree Preservation Plan shall be required for projects awarded tree preservation credit. A line item in the amount of the tree preservation credit will be applied to a project's letter of credit, which will be reduced to zero after written verification from a Certified Arborist that the preserved tree(s) are still in good to fair condition at least one year after issuance of a project's certificate of occupancy. Preservation credit shall not be applied towards any other fee other than tree mitigation fees.

g. **Heritage Tree and Parkway Tree Removal.**

1. All heritage trees and parkway trees shall be replaced per the replacement standards set forth in Section 6-305.F.3.f Tree Preservation Standards. The number of replacement trees may be limited by what can be reasonably accommodated within the available lot area, but any reduction in mitigation requirements must be approved by the Development Services Department.
2. A heritage tree that is dead or diseased may be removed without replacement if the tree is certified as dead or diseased by a certified arborist, to be retained by the homeowner, and with issuance of a tree removal permit.



f. **Tree Replacement Standards.**

1. **Size.**

All trees that are four (4) inches in diameter, measured four (4') feet from the ground shall be replaced as detailed in Table 6-305.F.3.f.1 (A) – Native Illinois Tree Replacement Standards or Table 6-305.F.3.f.1 (B) - Non-Native Illinois Tree Replacement Standards pursuant to Village approval.

**Table 6-305.F.3.f.1 (A) – Native Illinois Tree Replacement Standards**

<b>TREES NATIVE TO ILLINOIS</b>	
<b>CANOPY TREES</b>	
<b>Diameter of Removed Trees</b>	<b>Number of Replacement Trees Required per Every (1) Tree Removed</b>
4" to 12"	2 trees at 2.5" or 1 tree at 4"
13" to 23"	4 trees at 2.5" or 2 trees at 4"
24" or greater	6 trees at 2.5" or 3 trees at 4"
<b>EVERGREEN TREES</b>	
<b>Height of Removed Trees</b>	<b>Number of Replacement Trees Required</b>
6' to 10'	2 trees at 6' or 1 trees at 10'
10' to 14'	4 trees at 6' or 2 trees at 10'
14' or taller	6 trees at 6' or 3 trees at 10'

**Table 6-305.F.3.f.1 (B) - Non-Native Illinois Tree Replacement Standards**

<b>TREES NON-NATIVE TO ILLINOIS</b>	
<b>CANOPY TREES</b>	
<b>Diameter of Removed Trees</b>	<b>Number of Replacement Trees Required per Every (1) Tree Removed</b>
4" to 12"	1 tree at 2.5"
13" to 23"	2 trees at 2.5" or 1 tree at 4"
24" or greater	3 trees at 2.5" or 2 trees at 4"
<b>EVERGREEN TREES</b>	
<b>Height of Removed Trees</b>	<b>Number of Replacement Trees Required</b>
6' to 10'	2 trees at 6' or 1 trees at 10'
10' to 14'	2 trees at 6' or 1 trees at 10'
14' or taller	3 trees at 6' or 2 trees at 10'

## **Orland Park Named Tree City USA for 27th Consecutive Year**

### *Arbor Day Foundation Plants, Nurtures and Celebrates Trees*

ORLAND PARK, IL – The Village of Orland Park has been named a Tree City USA by the National Arbor Day foundation for its commitment to community forest management. This is the 27th year that Orland Park has been honored with this national recognition.

The Tree City USA Program is sponsored by the National Arbor Day Foundation in cooperation with the National Association of State Foresters and the U.S. Forest Service.

To qualify for a Tree City USA, Orland Park had to meet the four standards, including having a tree board or department, a tree care ordinance, a comprehensive community forestry program and an Arbor Day observance and proclamation.

“The Village of Orland Park is honored to again receive this designation from the Arbor Day Foundation,” said Orland Park Mayor Dan McLaughlin. “We’re very proud of the village’s continuous commitment to creating a pleasant environment for our community,” he added.

Orland Park’s 2012 tree initiatives included planting six large trees at area schools, distributing more than 1800 saplings to local school children and removal and replacement of Ash trees due to Emerald Ash Borer damage.

“The school kids get a kick out of having people from the village visit the schools to observe Arbor Day with them,” said Parks and Building Maintenance Director Frank Stec who oversees Orland Park’s tree programs. “They get to see a new tree being planted at their school and different grades get saplings to take home to plant each year,” he said.

John Rosenow, chief executive and founder of the Arbor Day Foundation added, “Everyone benefits when elected officials, volunteers and committed citizens in communities like Orland Park make smart investments in urban forests.” Rosenow added, “Trees bring shade to our home and beauty to our neighborhoods, along with the numerous economic, social and environmental benefits.”



“Our goal is take the necessary steps to preserve the environment for the generations to come,” McLaughlin said, adding “Giving tree saplings to the school children emphasizes the significance of trees within our community.”



# Chicago Wilderness

## **Oak Ecosystems Recovery Plan**

### **EXECUTIVE SUMMARY**

Funded by USDA Forest Service and US Fish & Wildlife Service

Lead collaborators: Lake County Forest Preserves • The Morton Arboretum





Karer Blue Butterfly  
*Lycaeides melissa samuelis*



Chicken of the Woods  
*Laetiporus sulphureus*



Red-headed Woodpecker  
*Melanerpes erythrocephalus*

## Chicago Wilderness is leading a coordinated recovery effort to preserve, restore, and expand oak ecosystems across the region.

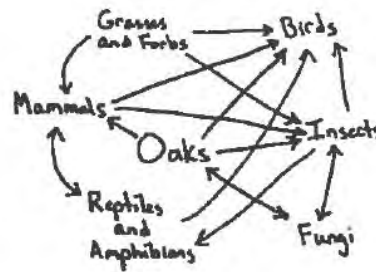
Oak trees are considered keystone species in the Chicago Wilderness Region, underpinning the biological diversity of some of our most crucial ecosystems. Despite their importance, we have lost more than 80% of oak ecosystems that occupied our region, and what remains is declining due to intense combined pressure from a number of threats.

By acting now, we can save our oaks and the many benefits they provide.

To help secure a future for oaks and their ecosystems, Chicago Wilderness members have created the **Oak Ecosystems Recovery Plan: Sustaining our Oaks in the Chicago Wilderness Region** to guide collective action in the years ahead. Like the **Chicago Wilderness Biodiversity Recovery Plan**, this document outlines current conditions, a bold vision, goals, and the strategies needed to get us there.

### an ecosystem is...

a biological community of interacting organisms and their physical environment;  
an interconnected system



**CRITTERS & PLANTS DEPEND ON OAKS...** big-leaved asters • black-billed cuckoos • northern flickers • wood frogs • bats

## WHY OAK ECOSYSTEMS MATTER

Oaks provide food and shelter for wildlife, perform valuable functions, and are a source of natural beauty for the enjoyment of the region's residents.

**Oaks are important for so many reasons. Here are just a few...**

### [ HABITAT ]

**Oak ecosystems contribute to vital biodiversity in the region.** The open canopy of oak woodlands and savannas yields unique combinations of light levels, soil moisture, pH, and organic matter that support a wide range of plants and animals.

**Oak trees support more than 600 species, providing critical food and habitat for:**

- butterflies & moths
- nesting birds and bats
- mushrooms and microorganisms
- rare, threatened, and endangered species

### [ CLIMATE ]

**As a species, oaks are drought and heat tolerant, making them relatively well adapted to future climate impacts.** Due to their longevity, large stature, and vast canopies, oaks also provide significant carbon storage, mitigate urban heat island effects, and reduce energy use in buildings.

### [ PEOPLE ]

**Beautiful in both form and function, oaks help keep our region healthy for generations to come.** Viewed as iconic and majestic, oaks and their ecosystems capture the imagination, instill a sense of place and regional identity, and link us with our natural heritage. Oak woodlands and savannas help clean our air and water and provide stunning destinations for birding, hiking, and other outdoor recreation.



farm oak

### [ NATURE ECONOMICS ]

**Oak ecosystems provide valuable services. Due to their large size, oaks are some of the most significant contributors.** A large oak can reduce 5,400 gallons of stormwater runoff and remove more than 1,000 lbs./yr of carbon dioxide from the atmosphere.

All told, our region's oak ecosystems provide over \$2 billion worth of flood control and other water management services (CMAP 2014).

### ..... did you know?...

*ink from oaks helped pen  
the Declaration of Independence,  
Bach's musical scores, and  
da Vinci's illustrations*

• blue-spotted salamanders • spicebushes • more than 500 species of butterflies and moths...

one region  
one vision  
one voice





## WHAT WE KNOW

Scientists from The Morton Arboretum, Lake County Forest Preserves, and other conservation partners documented oak ecosystems in Northeast Illinois over the last 150 years.

Prior to Euro-American settlement, oak ecosystems were widespread across the Chicago Wilderness Region. By the 1930s, 30% of these original oak ecosystems remained, due to agriculture, settlement, and the burgeoning metropolis of Chicago. By 2010, only 17% remained, leaving a patchwork of small, fragmented, and unhealthy lands.

17%

of our original oak ecosystems remain

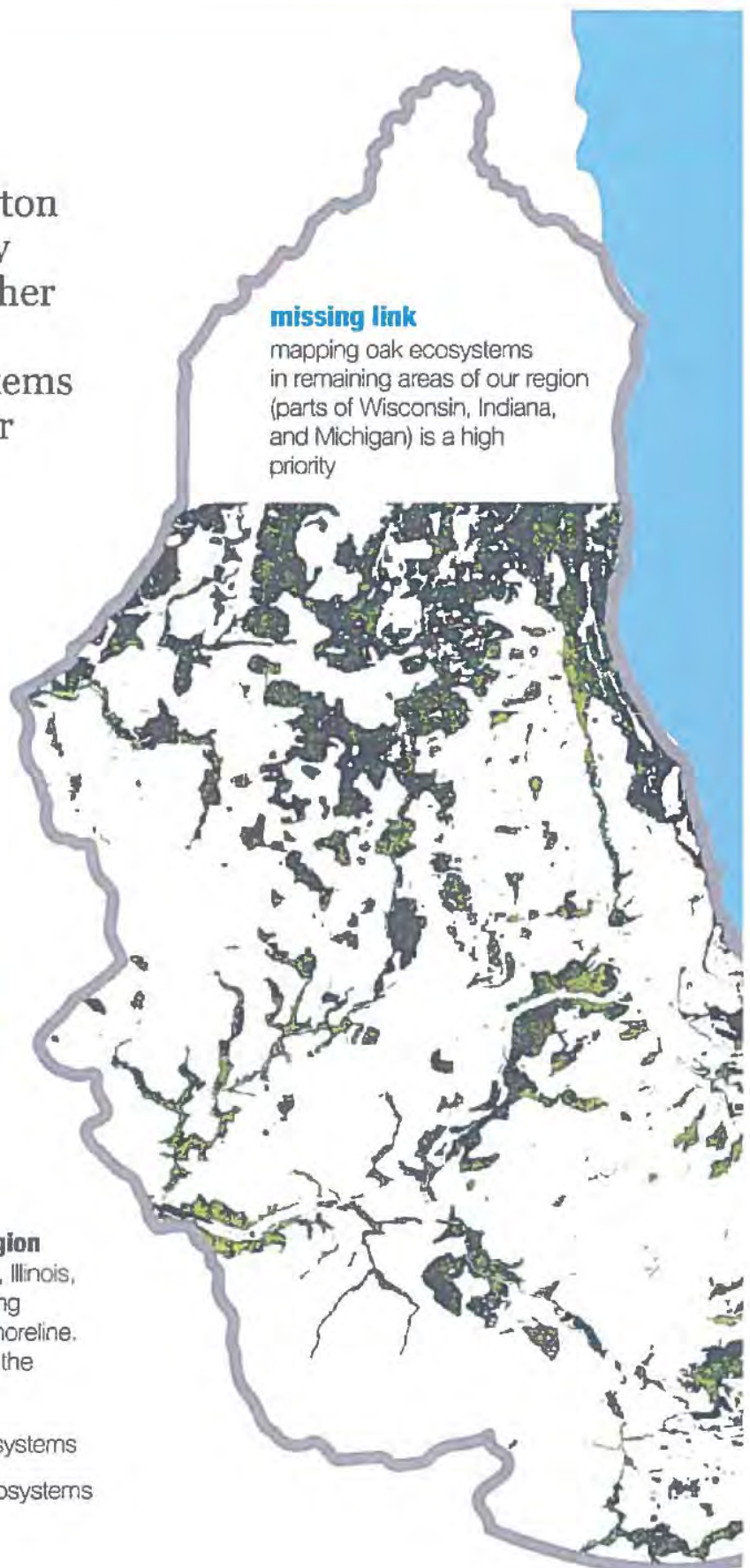
## LEGEND

**The Chicago Wilderness Region** comprises parts of Wisconsin, Illinois, Indiana, and Michigan, including 225 miles of Lake Michigan shoreline. Oaks are currently mapped in the Illinois portion only.

- 1830s - original oak ecosystems
- 2010 - remaining oak ecosystems

### missing link

mapping oak ecosystems in remaining areas of our region (parts of Wisconsin, Indiana, and Michigan) is a high priority







Middlefork Savanna in Lake County, Illinois

## ISSUES & THREATS

Remnant oak ecosystems and future oak populations face serious threats ranging in scale from individual trees to entire landscapes.

**LAKE  
MICHIGAN**

**oaks are vital  
contributors**  
to our connected  
landscapes

**we need more and  
larger parcels of land**  
for oak ecosystems

**Lack of oak regeneration is  
paramount to the challenges that  
oak ecosystems face. Without age  
diversity in our oak population,  
we run the risk of losing this vital  
regional resource.**

### **Related critical challenges include:**

- conversion to lower quality forests
- destruction and fragmentation
- invasive plants, diseases, and pests
- wildlife populations out of balance
- pollution
- climate change

**70%**

**of remaining oak ecosystems  
exist on privately owned lands**

This underscores the importance  
of engaging diverse landowners

### **did you know?...**

*The mighty oak is our national  
tree for its strength, diversity,  
and beauty. Some say oaks save  
us from boredom.*

one region  
one vision  
one voice







volunteers rescue a 400-year-old white oak in McHenry County, Illinois

## A BOLD LOOK AHEAD

Success will require collaboration and commitment around aligned regional action. Our vision...

**Protected, healthy, and expanded oak ecosystems are providing improved habitat and quality of life.**

- **Priority best management practices** are implemented in concert with public and private landowners.
- **Specific threats**, such as invasive plants and pests, are proactively managed.
- **Forecasts and effects of climate change** are guiding protection and management decisions.

.....

*Coordinated action is needed across a variety of landowners to ensure a thriving future for oak ecosystems.*

**The mighty oak reclaims its position as an integral part of our regional story and cultural heritage.**

- **Environmental, economic, cultural, and social benefits** of oak ecosystems are quantified and promoted.

**A sustained stewardship network advocates and cares for our region's oak ecosystems.**

- **Nursery and landscape industries** are prioritizing oak production and planting based on an increased demand across the region.
- **A robust and region-wide monitoring and research network** is active.
- **Diverse landowners are engaged.**



## WHAT'S NEXT?

To achieve the vision and goals of oak ecosystem recovery across the Chicago Wilderness region, we are excited to build momentum through these strategic activities.

### [ MAPPING ]

**Building upon our existing dataset documenting the historic and current extent of oak ecosystems across Northeast Illinois,** we will map the rest of the Chicago Wilderness region (parts of Wisconsin, Indiana, and Michigan). Additionally, we will prioritize specific areas in greatest need of intervention, taking into account such factors as presence of engaged landowners, landscape connectivity, priority species, environmental risks, etc.

### [ LANDOWNER RELATIONSHIPS ]

**With more than 70% of remaining oak ecosystems on private lands, partnerships with landowners will be essential to the success of this plan.** We will leverage existing outreach programs, such as *Conservation@Home*, *Project Quercus*, and *TreeKeepers*, to build the foundation for long-term relationships around priority areas.

### [ OUTREACH ]

**Outreach to stakeholders is critical.** The Chicago Region Trees Initiative will engage with government, business, civic, and community organizations to further partnerships and bring immediate feedback to guide our work.

### [ RESTORATION & MANAGEMENT ]

**The survival of oak woodlands and savannas across the region depends on active restoration and management.** The threats are significant and resources will always be limited. For maximum impact, we will identify, promote, and coordinate the highest priority management activities to ensure the resiliency of oak ecosystems across the region.

### [ RESEARCH ]

**Our actions must be grounded in the best available science.** We will need to assess existing studies and critical knowledge gaps to inform a long-term research agenda for oak ecosystems in the region.

### [ RESOURCES ]

**Accomplishing this work will require access to new technical and financial resources.** By demonstrating relevance and impact and forging innovative partnerships, Chicago Wilderness will build the capacity of its members and other stakeholders to secure necessary support for this important work.



protected oak  
seedling



grandmother oak

one region  
one vision  
one voice





### **Funding for this project was provided by:**

USDA Forest Service  
US Fish & Wildlife Service

### **Lead collaborators:**

The Morton Arboretum  
Lake County Forest Preserves

### **Special thanks to the following partners for their significant contributions:**

Barrington Area Conservation Trust  
Chicago Region Trees Initiative  
The Conservation Foundation  
Conserve Lake County  
Forest Preserves of Cook County  
Forest Preserve District of DuPage County  
Forest Preserve District of Kane County  
Forest Preserve District of Will County  
Illinois Department of Natural Resources  
Kane County Development Department  
Kendall County Forest Preserve District  
The Land Conservancy of McHenry County  
McHenry County Conservation District  
Openlands

### **The concept for this plan was inspired by:**

Ed Collins of the McHenry County Conservation District and his project to map remnant oak communities for McHenry County in 2005.

This document is an executive summary of the *Oak Ecosystems Recovery Plan: Sustaining our Oaks in the Chicago Wilderness Region*.

### **Photos courtesy of:**

Carol Freeman  
Illinois Natural History Survey  
The Land Conservancy of McHenry County  
McHenry County Conservation District  
The Morton Arboretum  
The Nature Conservancy, Indiana Chapter  
Wisconsin Department of Natural Resources  
WRD Environmental

# Chicago Wilderness

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[www.chicagowilderness.org](http://www.chicagowilderness.org)



**Lake County Forest Preserves**

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## Red-Headed Woodpecker



Some people think blondes have more fun, but I turn way more heads. Try to follow my radiant red head as I soar through the sky, catching insects mid-flight. I am both beauty and brains, storing food in tree crevices for later. I build my nests in oak woodlands and savannas, and I love calling the Chicago Wilderness Region my home as much as you, but the diminishing number of oak trees across the region makes it harder to live here.

Let's work together to restore my habitat.

The red-headed woodpecker (*Melanerpes erythrocephalus*) sports a distinguished red head, complimented with a black body and white wing patches. Its diet includes seeds, nuts, fruit, bird eggs, nestlings, other adult birds, and mice. It stores food in the winter beneath the protection of bark or wood.

This vibrantly patterned bird begins nest-building as early as February and egg-laying as early as mid-April. Females can lay a second clutch of eggs in a year if the first fails. Despite this determination, the species has declined recently at a rate of 5% annually, mostly due to habitat degradation and loss of food sources.

**donate to this species**

(<http://bit.ly/woodpecker-cw>)

### DID YOU KNOW?

- (<https://chicagowilderness.site-ym.com/page/CongressCFP>) Due to its bold pattern, one of the red-headed woodpecker nicknames is the "flying checkerboard".



- To defend its territory, the red-headed woodpecker may puncture or remove other birds' eggs from nests or destroy the nest entirely.
- The red-headed woodpecker is used as a symbol of war by Cherokee Indians.

#### IF YOU COULD DO ONE THING TO HELP...

**Volunteer at your local natural areas to help restore oak habitats.**

Red-headed woodpeckers need oak ecosystems to thrive. Oak ecosystems are declining and, as a result, so are the populations of the red-headed woodpecker. Volunteering for organizations dedicated to oak restoration will help rebuild the oak population and save the red-headed woodpecker. **Learn more** (<http://www.chicagowilderness.org/?page=OakEcosystemsFocus>) about the importance of oak ecosystems to the Chicago Wilderness Region.

#### SPECIAL THANKS

Chicago Wilderness works with our lead partner, **The Nature Conservancy** (<http://www.nature.org/>), to drive red-headed woodpecker conservation efforts. They, in turn, coordinate with numerous other organizations across the region. The red-headed woodpecker conservation effort is part of the Chicago Wilderness Priority Species Focus Area.

Sources: Cornell Lab of Ornithology ([https://www.allaboutbirds.org/guide/Red-headed\\_Woodpecker/id](https://www.allaboutbirds.org/guide/Red-headed_Woodpecker/id)), Audubon Society (<http://www.audubon.org/field-guide/bird/red-headed-woodpecker>), Nature Conservancy (<http://www.nature.org/>)



## BIRD CONSERVATION NETWORK

### Oak Woodland Recovery and the Red-headed Woodpecker

*This document summarizes the habitat needs of the charismatic and declining Red-headed Woodpecker, a bird that is reliant on healthy oak savanna and oak woodland.*

#### About the Red-headed Woodpecker

The Red-headed Woodpecker is a charismatic bird species that is uncommon and declining throughout much of its range due to habitat loss. Bird Conservation Network identifies the Red-headed Woodpecker as a Level 1 species in the Chicago region, representing a bird that has high regional threats and is experiencing large declines in numbers.

**Conservation action is needed to help Red-headed Woodpeckers, and private landowners of oak woodland can help this special bird!**

Adult Red-headed Woodpeckers have a snow-white body, bright crimson head, and black back with bold white wing patches. This striking pattern gives them the nickname “flying checkerboards.” Unlike most woodpeckers, they sally out to catch insects in midair, search for food on the open ground, and hide acorns and nuts in tree crevices or under bark for later. Red-heads nest in cavities in large trees, typically standing dead trees (also known as snags) or dead limbs.

#### Habitat Needs of Red-headed Woodpecker

Research on the habitat used by Red-headed Woodpeckers indicates that they prefer oak woodland, particularly oak savannas, which feature scattered large trees with patches where sunlight reaches the ground. A Red-headed Woodpecker Blitz conducted in the Chicago area in 2012 and 2013 also found that the woodpeckers regularly nest in floodplain forest, where they frequently use eastern cottonwood trees.

In both savannas and flooded woodlands, large snags are especially important to provide places for Red-headed Woodpecker to nest in the summer and to cache food year-round. Adjacent clearings and an open understory also are important to provide opportunities to forage for food.



*Adult Red-headed Woodpecker with moth at nesthole. Photo by Joe Kosack/USFWS.*

#### Recommended Management Actions

- Retain snags (dead trees) if possible, especially clusters of two or more large snags (20 to 50 cm in diameter), to support nesting and year-round foraging.
- Control weedy/invasive brush and plants on the ground: A more open understory is preferred by Red-headed Woodpecker.
- Savanna conditions (a thinner density of trunks) with large trees and adjacent open areas for catching insects are ideal.
- Keep large live and dead trees in floodplain or wet areas, as this seems to be an important alternate habitat for Redheads.



### How You Can Help

Landowners can provide habitat to help Red-headed Woodpeckers by maintaining healthy oak woodland, establishing savanna conditions, retaining clusters of old dead trees where possible (including in floodplain forest or wet areas), and removing weedy or invasive shrubs and plants from the understory.

If you see Red-headed Woodpeckers on your property, especially if they are nesting, report your sightings to the online birding database eBird ([www.eBird.org](http://www.eBird.org)) or to Bird Conservation Network at [bcnsurvey@gmail.com](mailto:bcnsurvey@gmail.com). This will help us continue to gauge how this unique and iconic species is doing in the Chicago region!

### About Bird Conservation Network

Bird Conservation Network (BCN) has been promoting bird conservation and preserving and restoring bird habitat in the Chicago region for more than 15 years. BCN is a coalition of 21 organizations, including bird clubs, Audubon chapters, and conservation groups, sharing an interest in the conservation of birds and their habitats. We are active in many ways that both directly and indirectly impact birds including bird monitoring, public advocacy, informing government, producing info papers, promoting restoration, reducing bird threats, and more.

For more information, visit our website at [www.bcnbirds.org](http://www.bcnbirds.org).

### Resources Cited:

Bird Conservation Network. "Red-headed Woodpecker Blitzes" [files/Red-headed\\_Woodpecker\\_Blitzes\\_2012-2013.pdf](#)

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Brawn, Jeffrey D., William H. Elder, and Keith E. Evans. "Winter Forest." *Wildlife Society Bulletin*, vol. 10, no. 3, 1982, pp. 271-

Ingold, Danny J. "Nest-site Characteristics of Red-bellied and Red East-Central Ohio." *Ohio Journal of Science*, vol. 94, no. 1, 199

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### Resources Cited:

- Bird Conservation Network. "Red-headed Woodpecker Blitzes of 2012 and 2013." [www.bcnbirds.org/greenpapers\\_files/Red-headed\\_Woodpecker\\_Blitzes\\_2012-2013.pdf](http://www.bcnbirds.org/greenpapers_files/Red-headed_Woodpecker_Blitzes_2012-2013.pdf)
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- Brawn, Jeffrey D., William H. Elder, and Keith E. Evans. "Winter Foraging by Cavity Nesting Birds in an Oak-Hickory Forest." *Wildlife Society Bulletin*, vol. 10, no. 3, 1982, pp. 271-275.
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